

RECEIVED
By waltonj at 5:52 pm, Aug 25, 2020

WILMINGTON
NORTH CAROLINA

SITE DATA

PARCEL ID: R05511-001-004-002, R05511-001-000, R05511-001-002-000

CURRENT ZONING: O&I-1 (CD)

CAMA LAND USE CLASSIFICATION: URBAN & CONSERVATION AREA

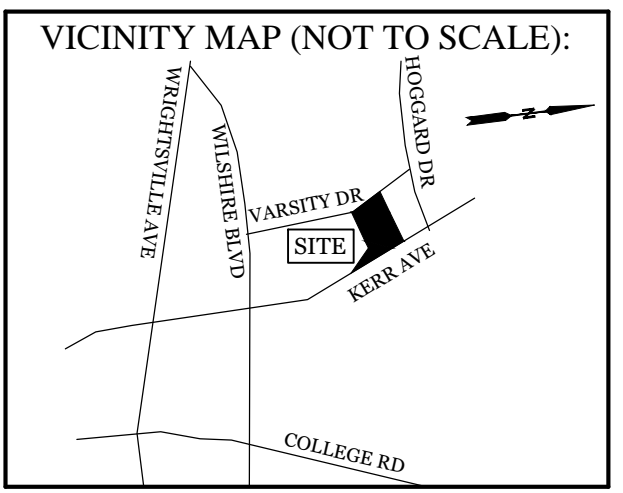
PROJECT ADDRESS: 611 VARSITY DR, 724 & 716 SOUTH KERR AVE, WILMINGTON, NC 28403

CURRENT OWNER: REAL PROPERTIES LLC
1319 MILITARY CUTOFF RDSUITECC
WILMINGTON, NC 28405

TOTAL ACREAGE IN PROJECT BOUNDARY: 68,115 S.F. (± 1.56 ac.)

EXISTING ONSITE IMPERVIOUS AREAS (ALL TO BE REMOVED):
BUILDINGS: 3,683 S.F.
PAVEMENT: 3,176 S.F.

SOIL TYPE:
To (Torhunta loamy fine sand) 63.1%
Be (Baymeade fine sand) 36.8%
JO (Johnston soils) 0.0%
(Per the USDA websoil survey map)

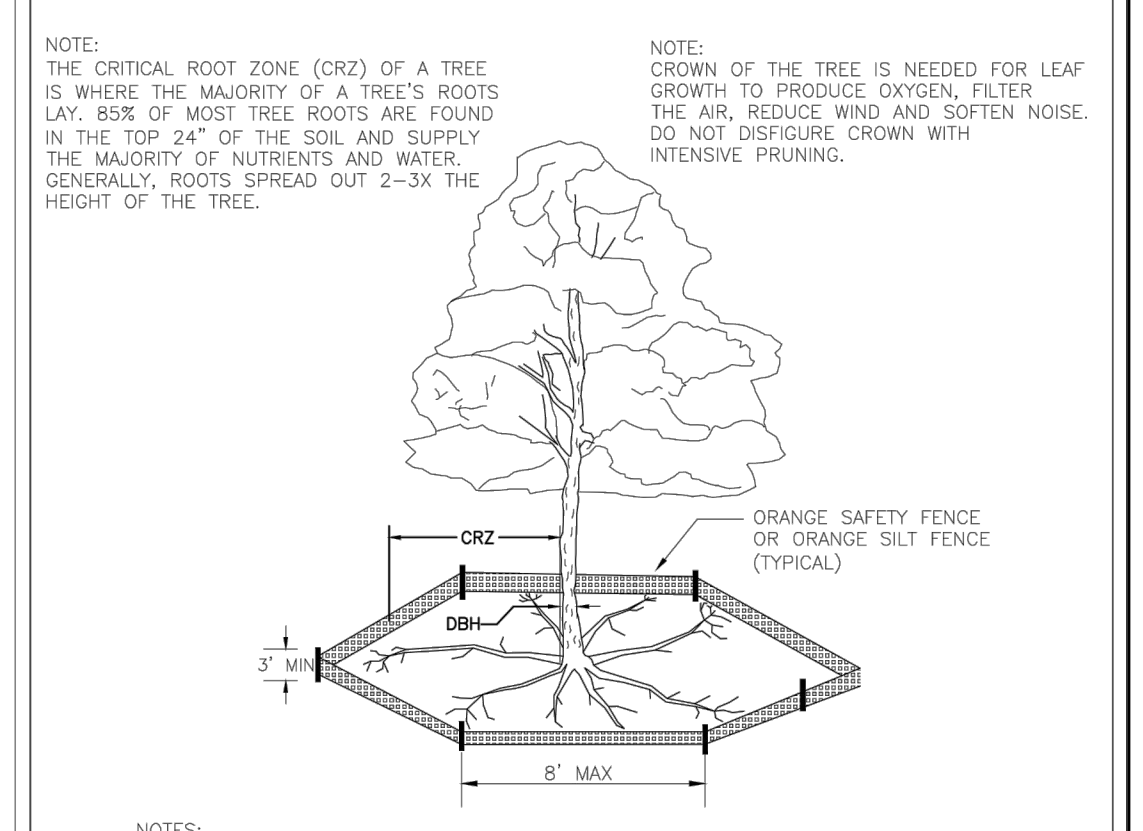
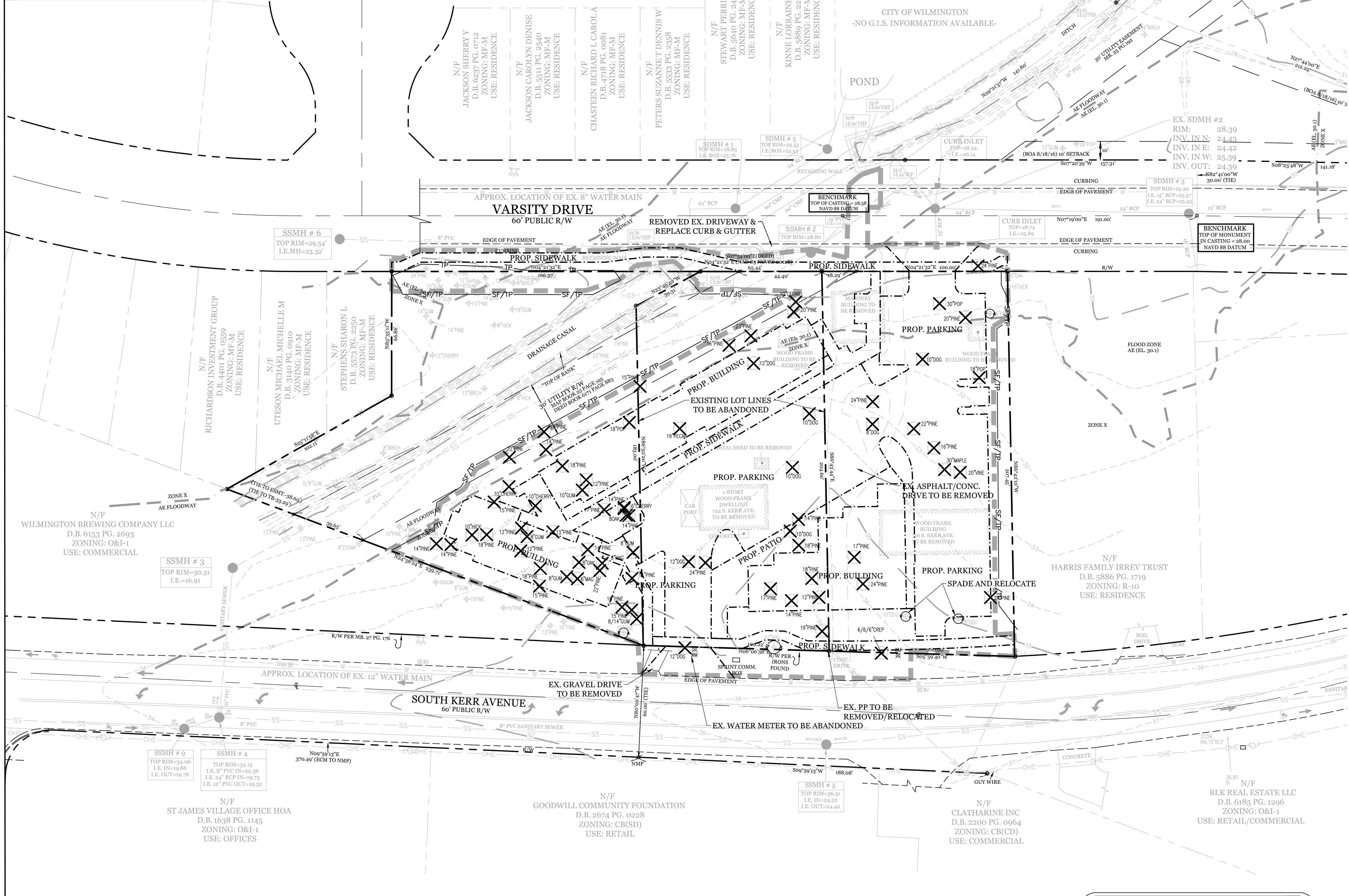


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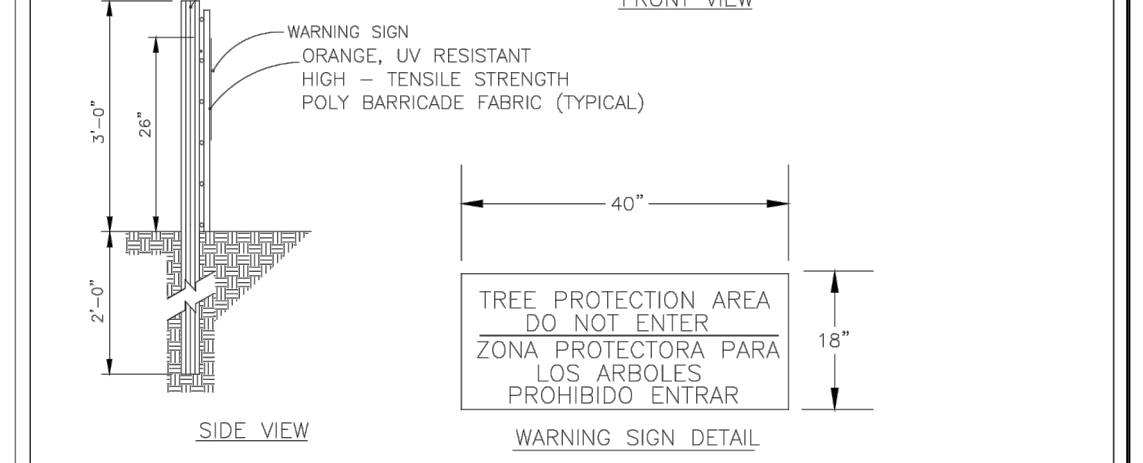
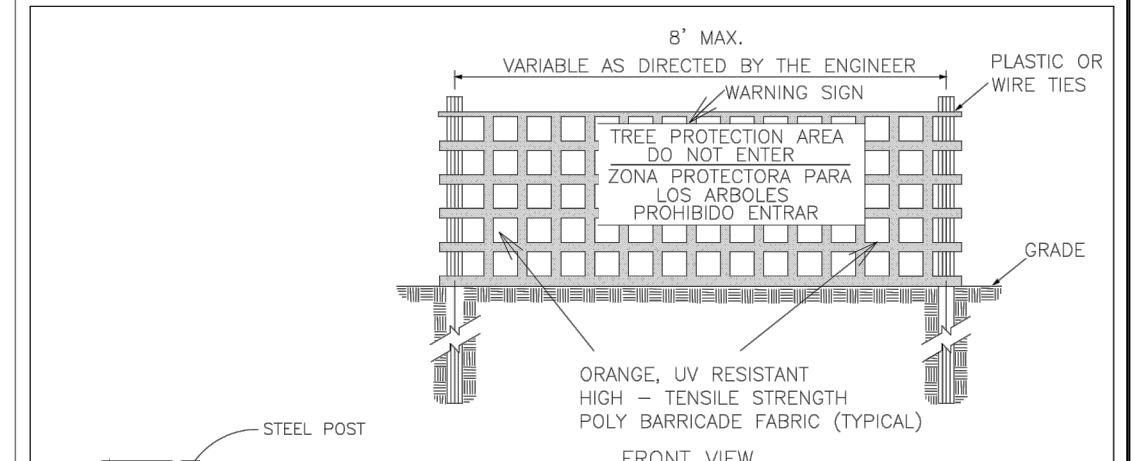
INTRACOASTAL ENGINEERING, PLLC

5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662



NOTES:

- PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- CRZ RADIUS IS 4 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
- IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12\"/>



LEGEND

- PROPERTY LINE
- ADJACENTS
- TREE PROTECTION FENCE
- TREE PROTECTION SILT FENCE
- LIMITS OF DISTURBANCE
- EX. FIRE HYDRANT
- TREES TO BE REMOVED
- PROPOSED DEMO AREAS

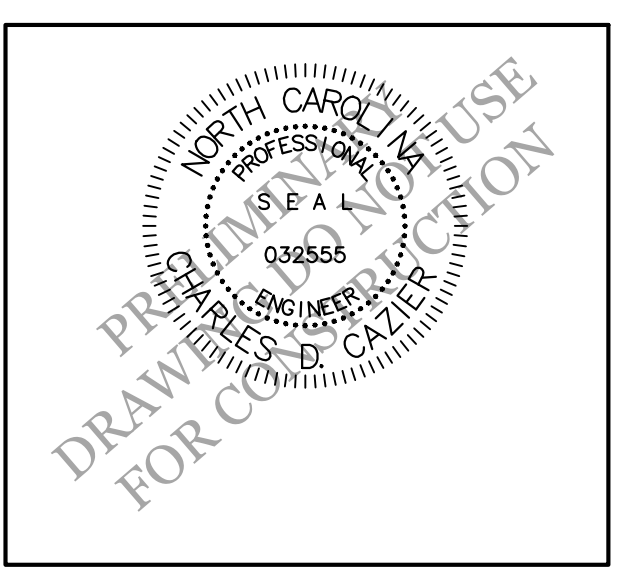
NOTES:

- EXISTING SURVEY DATA PROVIDED BY VERNON DEREK DANFORD, N.C. PLS NO. L-4528.
- NO WETLANDS EXIST ON SITE.
- THE DRAINAGE FEATURE RUNNING THROUGH THE PROPERTY HAS BEEN DETERMINED TO NOT BE CONSIDERED A STREAM BY NC DEQ REPRESENTATIVE CHAD COBURN.
- THIS PROPERTY IS NOT AFFECTED BY AN ABC.
- NO CONSERVATION RESOURCES EXIST ON SITE.
- THIS PROPERTY IS NOT AFFECTED BY ANY HISTORIC OR ARCHAEOLOGICAL SITES.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, A CONSTRUCTION ENTRANCE AND SILT FENCING SHALL BE INSTALLED.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES.
- NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- TREE PROTECTION SIGNAGE SHALL BE ADDED ALONG THE LIMITS OF DISTURBANCE ADJACENT TO TREES EVERY 100' TO PROTECT TREES ADJACENT TO THE CONSTRUCTION SITE.

Scale: 1"=30'

EXISTING CONDITIONS / TREE REMOVAL & PROTECTION PLAN FOR THE VARSITY CITY OF WILMINGTON NEW HANOVER COUNTY, NC

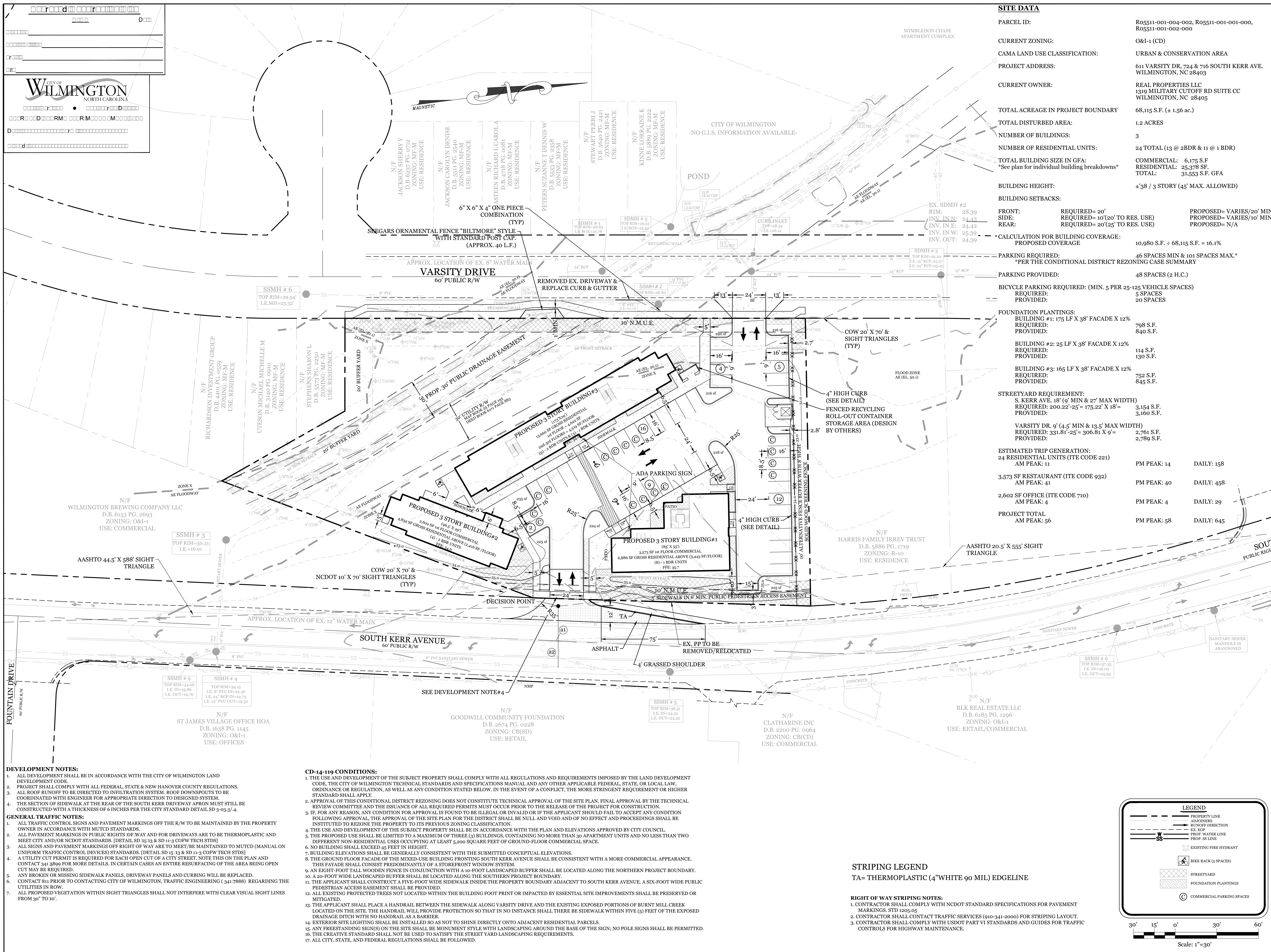
611 VARSITY DR, 724 & 716 SOUTH KERR AVE.



CLIENT INFORMATION:

Real Properties, LLC.
Matt Scharf
1319-CC Military Cutoff Rd #172
Wilmington, NC 28405
Ph. 910-538-9901

DRAWN: JAE SHEET SIZE: 24x36
CHECKED: CDC DATE: 8/24/2020
APPROVED: CDC SCALE: 1" = 30'
PROJECT NUMBER: 2019-021
DRAWING NUMBER: C-0



SITE DATA

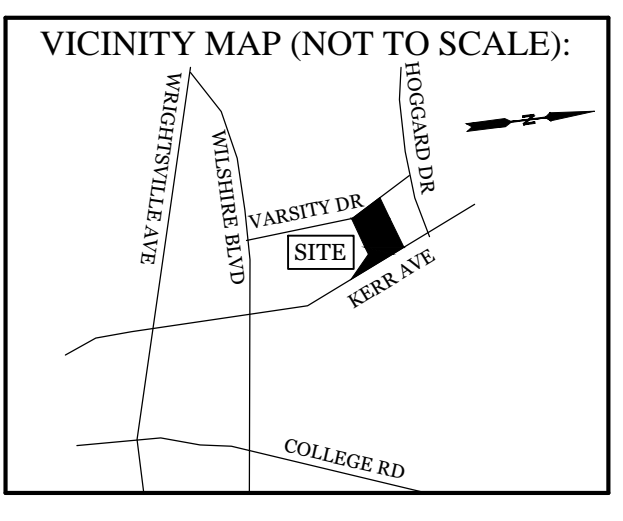
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| CURRENT ZONING: | O&I-1 (CD) |
| CAMA LAND USE CLASSIFICATION: | URBAN & CONSERVATION AREA |
| PROJECT ADDRESS: | 611 VARSITY DR, 724 & 716 SOUTH KERR AVE. WILMINGTON, NC 28403 |
| CURRENT OWNER: | REAL PROPERTIES LLC 1319 MILITARY CUTOFF RD SUITE CC WILMINGTON, NC 28405 |
| TOTAL ACREAGE IN PROJECT BOUNDARY: | 68,115 S.F. (± 1.56 ac.) |
| TOTAL DISTURBED AREA: | 1.2 ACRES |
| NUMBER OF BUILDINGS: | 3 |
| NUMBER OF RESIDENTIAL UNITS: | 24 TOTAL (13 @ 2BDR & 11 @ 1 BDR) |
| TOTAL BUILDING SIZE IN GFA: | COMMERCIAL: 6,175 S.F. RESIDENTIAL: 25,378 SF. TOTAL: 31,553 S.F. GFA |
| BUILDING HEIGHT: | ±38' / 3 STORY (45' MAX. ALLOWED) |
| BUILDING SETBACKS: | |
| FRONT: | REQUIRED= 20' |
| SIDE: | REQUIRED= 10'(20' TO RES. USE) |
| REAR: | REQUIRED= 20'(25' TO RES. USE) |
| PROPOSED= VARIES/20' MIN | |
| PROPOSED= VARIES/10' MIN | |
| PROPOSED= N/A | |

CALCULATION FOR BUILDING COVERAGE:

| | |
|--|-----------------------------------|
| PROPOSED COVERAGE | 10,980 S.F. ÷ 68,115 S.F. = 16.1% |
| PARKING REQUIRED: | 46 SPACES MIN & 101 SPACES MAX.* |
| *PER THE CONDITIONAL DISTRICT REZONING CASE SUMMARY | |
| PARKING PROVIDED: | 48 SPACES (2 H.C.) |
| BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES) | 5 SPACES |
| PROVIDED: | 20 SPACES |
| FOUNDATION PLANTINGS: | |
| BUILDING #1: 175 LF X 38' FAÇADE X 12% | REQUIRED: 798 S.F. |
| PROVIDED: | 840 S.F. |
| BUILDING #2: 25 LF X 38' FAÇADE X 12% | REQUIRED: 114 S.F. |
| PROVIDED: | 130 S.F. |
| BUILDING #3: 165 LF X 38' FAÇADE X 12% | REQUIRED: 752 S.F. |
| PROVIDED: | 845 S.F. |
| STREETYARD REQUIREMENT: | |
| S. KERR AVE. 18' (9' MIN & 27' MAX WIDTH) | REQUIRED: 3,154 S.F. |
| PROVIDED: | 3,160 S.F. |
| Varsity Dr. 9' (4.5' MIN & 13.5' MAX WIDTH) | REQUIRED: 2,761 S.F. |
| PROVIDED: | 2,789 S.F. |

ESTIMATED TRIP GENERATION:

| | | | |
|-------------------------------------|--------------------|--------------------|-------------------|
| 24 RESIDENTIAL UNITS (ITE CODE 221) | AM PEAK: 11 | PM PEAK: 14 | DAILY: 158 |
| 3,573 SF RESTAURANT (ITE CODE 932) | AM PEAK: 41 | PM PEAK: 40 | DAILY: 458 |
| 2,602 SF OFFICE (ITE CODE 710) | AM PEAK: 4 | PM PEAK: 4 | DAILY: 29 |
| PROJECT TOTAL | AM PEAK: 56 | PM PEAK: 58 | DAILY: 645 |



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SITE PLAN FOR THE VARSITY

611 VARSITY DR, 724 & 716 SOUTH KERR AVE.
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

PROFESSIONAL SEAL

CHARLES D. CALZIERI
REGISTERED PROFESSIONAL ENGINEER
STATE OF NORTH CAROLINA
NO. 03853

CLIENT INFORMATION:

Real Properties, LLC.
Matt Scharf
1319-CC Military Cutoff Rd #172
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| DRAWN: | JAE | SHEET SIZE: | 24x36 |
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| APPROVED: | CDC | SCALE: | 1" = 30' |
| PROJECT NUMBER: | 2019-021 | | |

DRAWING NUMBER: **C-1**

2 OF 8

DEVELOPMENT NOTES:

- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
- ALL ROOF RUNOFF TO BE DIRECTED TO INFILTRATION SYSTEM. ROOF DOWNSPOUTS TO BE COORDINATED WITH ENGINEER FOR APPROPRIATE DIRECTION TO DESIGNED SYSTEM.
- THE SECTION OF SIDEWALK AT THE REAR OF THE SOUTH KERR DRIVEWAY APRON MUST STILL BE CONSTRUCTED WITH A THICKNESS OF 6 INCHES PER THE CITY STANDARD DETAIL SD 3-03.3/4.

GENERAL TRAFFIC NOTES:

- ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS OFF THE R/W TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD 35.13 & SD 11-3 COFW TECH STDS]
- ALL SIGNS AND PAVEMENT MARKINGS OFF RIGHT OF WAY ARE TO MEET/BE MAINTAINED TO MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15.13 & SD 11-3 COFW TECH STDS]
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-3899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING (341-7888) REGARDING THE UTILITIES IN ROW.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

CD-14-119 CONDITIONS:

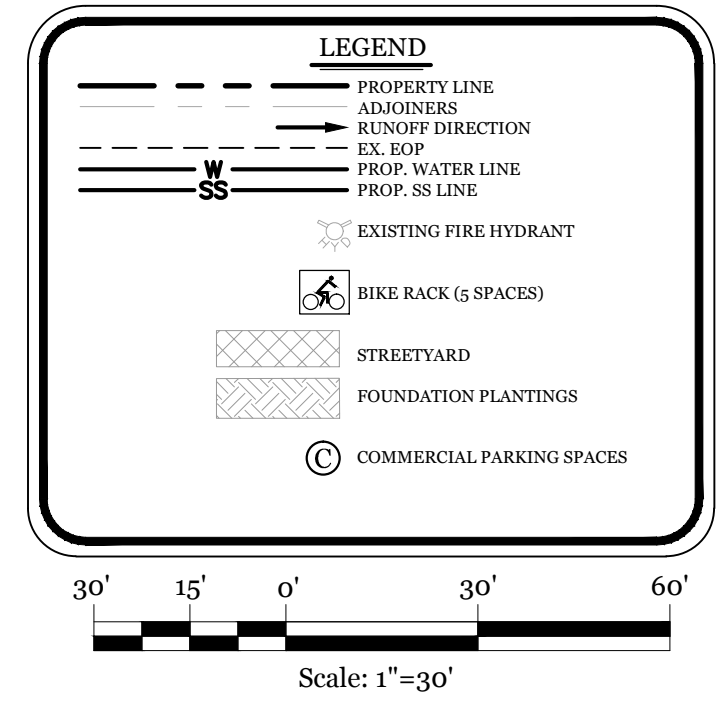
- THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL AND ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL LAW, ORDINANCE OR REGULATION, AS WELL AS ANY CONDITION STATED BELOW. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
- APPROVAL OF THIS CONDITIONAL DISTRICT REZONING DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. FINAL APPROVAL BY THE TECHNICAL REVIEW COMMITTEE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO THE RELEASE OF THE PROJECT FOR CONSTRUCTION.
- IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE SITE PLAN FOR THE DISTRICT SHALL BE NULL AND VOID AND OF NO EFFECT AND PROCEEDINGS SHALL BE INSTITUTED TO REZONE THE PROPERTY TO ITS PREVIOUS ZONING CLASSIFICATION.
- THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE PLAN AND ELEVATIONS APPROVED BY CITY COUNCIL.
- THE PROPOSED USE SHALL BE LIMITED TO A MAXIMUM OF THREE (3) BUILDINGS, CONTAINING NO MORE THAN 30 APARTMENT UNITS AND NO LESS THAN TWO DIFFERENT NON-RESIDENTIAL USES OCCUPYING AT LEAST 5,200 SQUARE FEET OF GROUND-FLOOR COMMERCIAL SPACE.
- NO BUILDING SHALL EXCEED 45 FEET IN HEIGHT.
- BUILDING ELEVATIONS SHALL BE GENERALLY CONSISTENT WITH THE SUBMITTED CONCEPTUAL ELEVATIONS.
- THE GROUND FLOOR FAÇADE OF THE MIXED-USE BUILDING FRONTING SOUTH KERR AVENUE SHALL BE CONSISTENT WITH A MORE COMMERCIAL APPEARANCE. THIS FAÇADE SHALL CONSIST PREDOMINANTLY OF A STOREFRONT WINDOW SYSTEM.
- AN EIGHT-FOOT TALL WOODEN FENCE IN CONJUNCTION WITH A 10-FOOT LANDSCAPED BUFFER SHALL BE LOCATED ALONG THE NORTHERN PROJECT BOUNDARY.
- A 20-FOOT WIDE LANDSCAPED BUFFER SHALL BE LOCATED ALONG THE SOUTHERN PROJECT BOUNDARY.
- THE APPLICANT SHALL CONSTRUCT A FIVE-FOOT WIDE SIDEWALK INSIDE THE PROPERTY BOUNDARY ADJACENT TO SOUTH KERR AVENUE. A SIX-FOOT WIDE PUBLIC PEDESTRIAN ACCESS EASEMENT SHALL BE PROVIDED.
- ALL EXISTING PROTECTED TREES NOT LOCATED WITHIN THE BUILDING FOOT PRINT OR IMPACTED BY ESSENTIAL SITE IMPROVEMENTS SHALL BE PRESERVED OR MITIGATED.
- THE APPLICANT SHALL PLACE A HANDRAIL BETWEEN THE SIDEWALK ALONG VARSITY DRIVE AND THE EXISTING EXPOSED PORTIONS OF BURNT MILL CREEK LOCATED ON THE SITE. THE HANDRAIL WILL PROVIDE PROTECTION SO THAT IN NO INSTANCE SHALL THERE BE SIDEWALK WITHIN FIVE (5) FEET OF THE EXPOSED DRAINAGE DITCH WITH NO HANDRAIL AS A BARRIER.
- EXTERIOR SITE LIGHTING SHALL BE INSTALLED SO AS NOT TO SHINE DIRECTLY ONTO ADJACENT RESIDENTIAL PARCELS.
- ANY FREESTANDING SIGN(S) ON THE SITE SHALL BE MONUMENT STYLE WITH LANDSCAPING AROUND THE BASE OF THE SIGN; NO POLE SIGNS SHALL BE PERMITTED.
- THE CREATIVE STANDARD SHALL NOT BE USED TO SATISFY THE STREET YARD LANDSCAPING REQUIREMENTS.
- ALL CITY, STATE, AND FEDERAL REGULATIONS SHALL BE FOLLOWED.

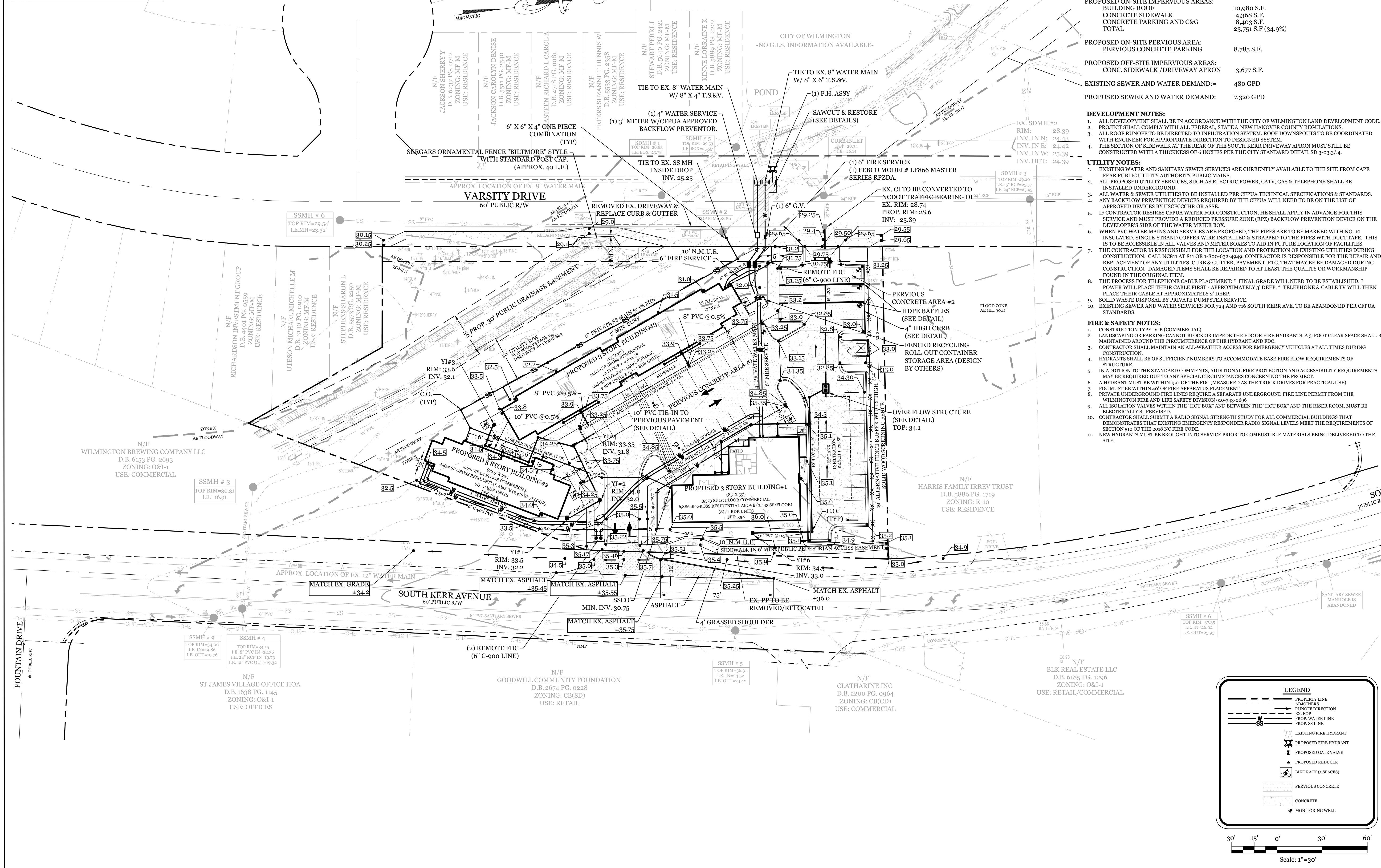
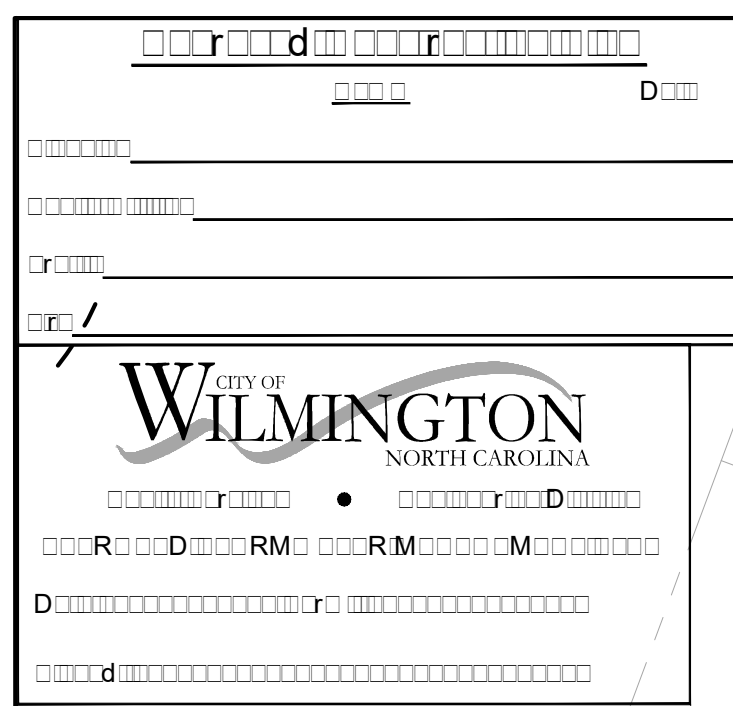
STRIPING LEGEND

TA= THERMOPLASTIC (4" WHITE 90 MIL) EDGELINE

RIGHT OF WAY STRIPING NOTES:

- CONTRACTOR SHALL COMPLY WITH NCDOT STANDARD SPECIFICATIONS FOR PAVEMENT MARKINGS. STD 1205.05
- CONTRACTOR SHALL CONTACT TRAFFIC SERVICES (910-341-2000) FOR STRIPING LAYOUT.
- CONTRACTOR SHALL COMPLY WITH USDOT PART VI STANDARDS AND GUIDES FOR TRAFFIC CONTROLS FOR HIGHWAY MAINTENANCE.





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CURRENT ZONING: O&I-1 (CD)

CAMA LAND USE CLASSIFICATION: URBAN & CONSERVATION AREA

PROJECT ADDRESS: 611 VARSITY DR, 724 & 716 SOUTH KERR AVE. WILMINGTON, NC 28403

CURRENT OWNER: REAL PROPERTIES LLC
1319 MILITARY CUTOFF RD SUITE CC
WILMINGTON, NC 28405

TOTAL ACREAGE IN PROJECT BOUNDARY: 68,115 S.F. (± 1.56 ac.)

TOTAL DISTURBED AREA: 1.3 ACRES

CALCULATION FOR BUILDING COVERAGE:
PROPOSED COVERAGE: 10,980 S.F. + 68,115 S.F. = 16.1%

PROPOSED ON-SITE IMPERVIOUS AREAS:
BUILDING ROOF: 10,980 S.F.
CONCRETE SIDEWALK: 4,368 S.F.
CONCRETE PARKING AND C&G: 8,403 S.F.
TOTAL: 23,751 S.F. (34.9%)

PROPOSED ON-SITE PERVIOUS AREA:
PERVIOUS CONCRETE PARKING: 8,785 S.F.

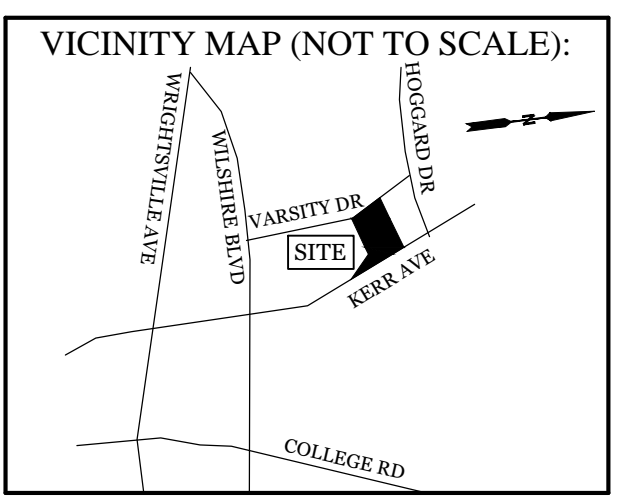
PROPOSED OFF-SITE IMPERVIOUS AREAS:
CONC. SIDEWALK /DRIVEWAY APRON: 3,677 S.F.

EXISTING SEWER AND WATER DEMAND: 480 GPD

PROPOSED SEWER AND WATER DEMAND: 7,320 GPD

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 - THE SECTION OF SIDEWALK AT THE REAR OF THE SOUTH KERR DRIVEWAY APRON MUST STILL BE CONSTRUCTED WITH A THICKNESS OF 6 INCHES PER THE CITY STANDARD DETAIL SD 3-03.3/4.
- UTILITY NOTES:**
- EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
 - ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
 - ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCOHR OR ASSE.
 - IF CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 - WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
 - THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. * TELEPHONE & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
 - SOLID WASTE DISPOSAL BY PRIVATE DUMPFSTER SERVICE.
 - EXISTING SEWER AND WATER SERVICES FOR 724 AND 716 SOUTH KERR AVE. TO BE ABANDONED PER CFPWA STANDARDS.

- FIRE & SAFETY NOTES:**
- CONSTRUCTION TYPE: V-B (COMMERCIAL)
 - LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
 - CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 - HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
 - IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 - A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED FOR PRACTICAL USE)
 - FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
 - PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0666
 - ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.
 - CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2008 NC FIRE CODE.
 - NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE SITE.



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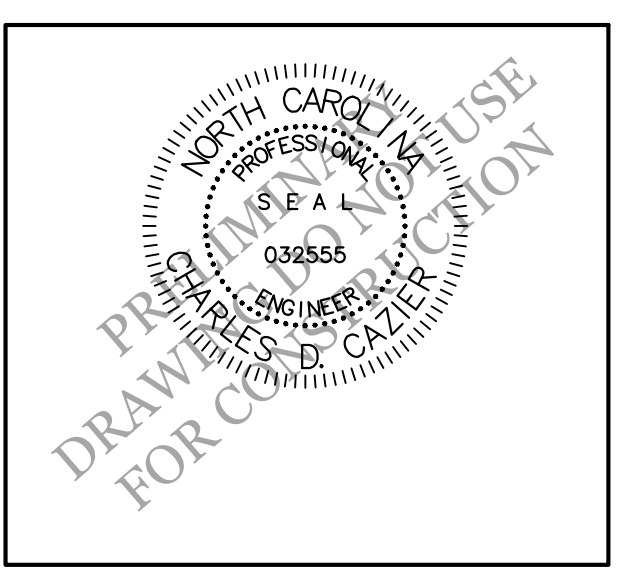
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GRADING, DRAINAGE, & UTILITIES PLAN FOR THE VARSITY

611 VARSITY DR, 724 & 716 SOUTH KERR AVE.
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC



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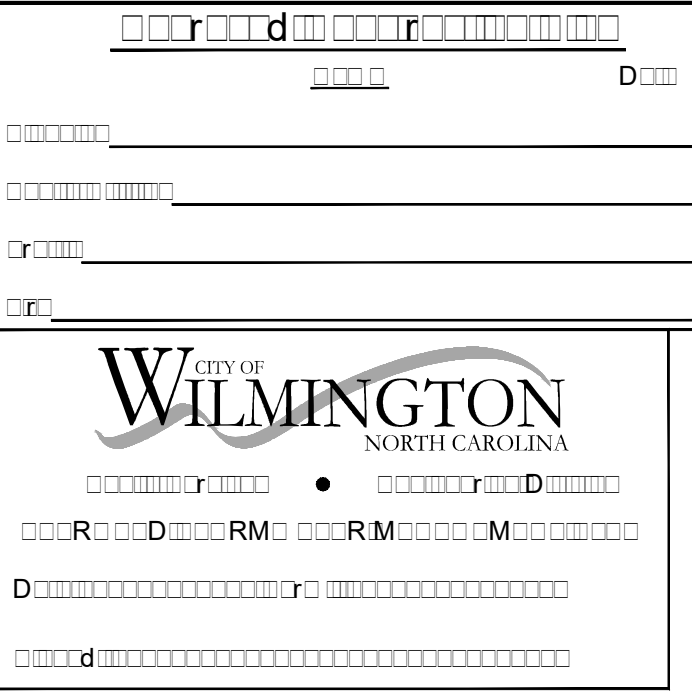
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| PROJECT NUMBER: 2019-021 | |

DRAWING NUMBER: **C-2**

LEGEND

- PROPERTY LINE
- ADJOINERS
- RUNOFF DIRECTION
- EX. EOP
- PROP. WATER LINE
- PROP. SANITARY
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED REDUCER
- BIKE RACK (5 SPACES)
- PERVIOUS CONCRETE
- CONCRETE
- MONITORING WELL

Scale: 1"=30'



MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF 2-3 INCH STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT DAMS OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION, SEDIMENT TRAP Baffles, AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNED STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. SILT SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
4. DIVERSION DITCHES WILL BE CLEANED OUT IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE FLOW AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
5. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL, STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.

CONSTRUCTION SEQUENCE:

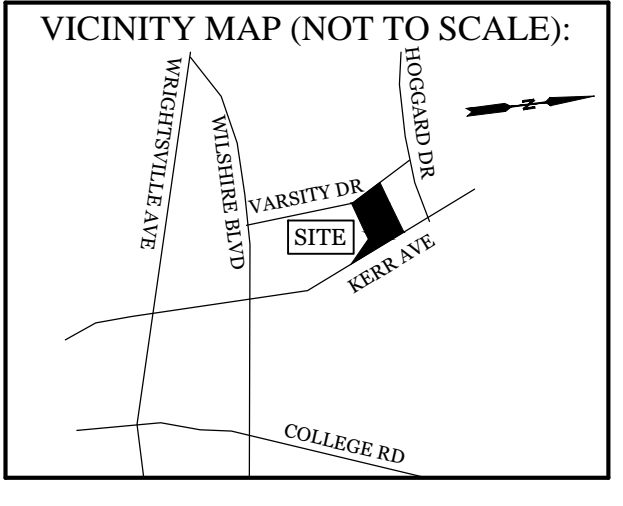
1. CONSTRUCTION OF SITE TO START WITH INSTALLATION OF CONSTRUCTION ENTRANCE AND SILT FENCE ALONG ALL LOCATIONS PER PLANS. UPON INSTALLATION OF SILT FENCE, TREES SHOULD BE REMOVED IN LOCATIONS AS NECESSARY. ALL SLOPED AREAS SHOULD BE SEEDED IN ACCORDANCE TO SPECIFICATIONS. SLOPE STABILIZATION IS WITHIN 21 CALENDAR DAYS OF ANY PHASE OF CONSTRUCTION. ALL OTHER AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS. CONTRACTOR TO FOLLOW NPDES STABILIZATION REQUIREMENTS PER TABLE ON THIS SHEET AS WELL. MOST STRINGENT REQUIREMENT TO BE MET.
1. GENERAL CLEARING AND GRADING OF THIS SITE WILL NOT BE DONE UNTIL THE TEMPORARY SILT FENCE & CONSTRUCTION ENTRANCE HAS BEEN INSTALLED.
2. NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
3. NO SEDIMENT WILL BE ALLOWED TO EXIT THE SITE. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
4. INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, TREE PROTECTION FENCE & SEDIMENT BASINS. CONTRACTOR TO BE FAMILIAR WITH USACE GENERAL PERMIT CONDITIONS FOR ROAD CROSSINGS. SPECIFIC CONSTRUCTION METHODS MAY BE REQUIRED ABOVE AND BEYOND WHAT IS SPECIFIED IN THIS PLAN. INSTALL ALL SECONDARY EROSION CONTROL MEASURES, SUCH AS INLET PROTECTION AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
5. ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN. SILT FENCE AND INLET PROTECTION TO BE CLEANED WHEN HALF FULL.
6. A 4" LAYER OF TOPSOIL SHALL BE APPLIED TO ALL NEW AREAS TO BE GRASSED.
7. MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
8. MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
9. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.
10. PERMEABLE CONCRETE SUBGRADE MUST BE EITHER SCARIFIED, RIPPED, OR TRENCHED TO MAINTAIN THE PRE-CONSTRUCTION SUBGRADE INFILTRATION RATE.
11. GRADING FOR PERMEABLE PAVEMENT TO BE COMPLETED DURING DRY WEATHER.
12. AFTER INSTALLATION, PERMEABLE PAVEMENT SHALL BE PROTECTED FROM SEDIMENT DEPOSITION UNTIL THE SITE IS COMPLETED AND STABILIZED. AN IN-SITU INFILTRATION PERMEABILITY TEST SHALL BE CONDUCTED AND CERTIFIED ON THE PAVEMENT AFTER SITE STABILIZATION.
13. FIELD TESTING OF PERVIOUS CONCRETE SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.

SITE DATA

PARCEL ID: R05511-001-004-002, R05511-001-001-000, R05511-001-002-000
 CURRENT ZONING: O&I-1 (CD)
 CAMA LAND USE CLASSIFICATION: URBAN & CONSERVATION AREA
 PROJECT ADDRESS: 611 VARSITY DR, 724 & 716 SOUTH KERR AVE, WILMINGTON, NC 28403
 CURRENT OWNER: REAL PROPERTIES LLC, 1319 MILITARY CUTOFF RD SUITECC, WILMINGTON, NC 28405
 TOTAL ACREAGE IN PROJECT BOUNDARY: 68.115 S.F. (± 1.56 ac)
 TOTAL DISTURBED AREA: ± 1.3 ac

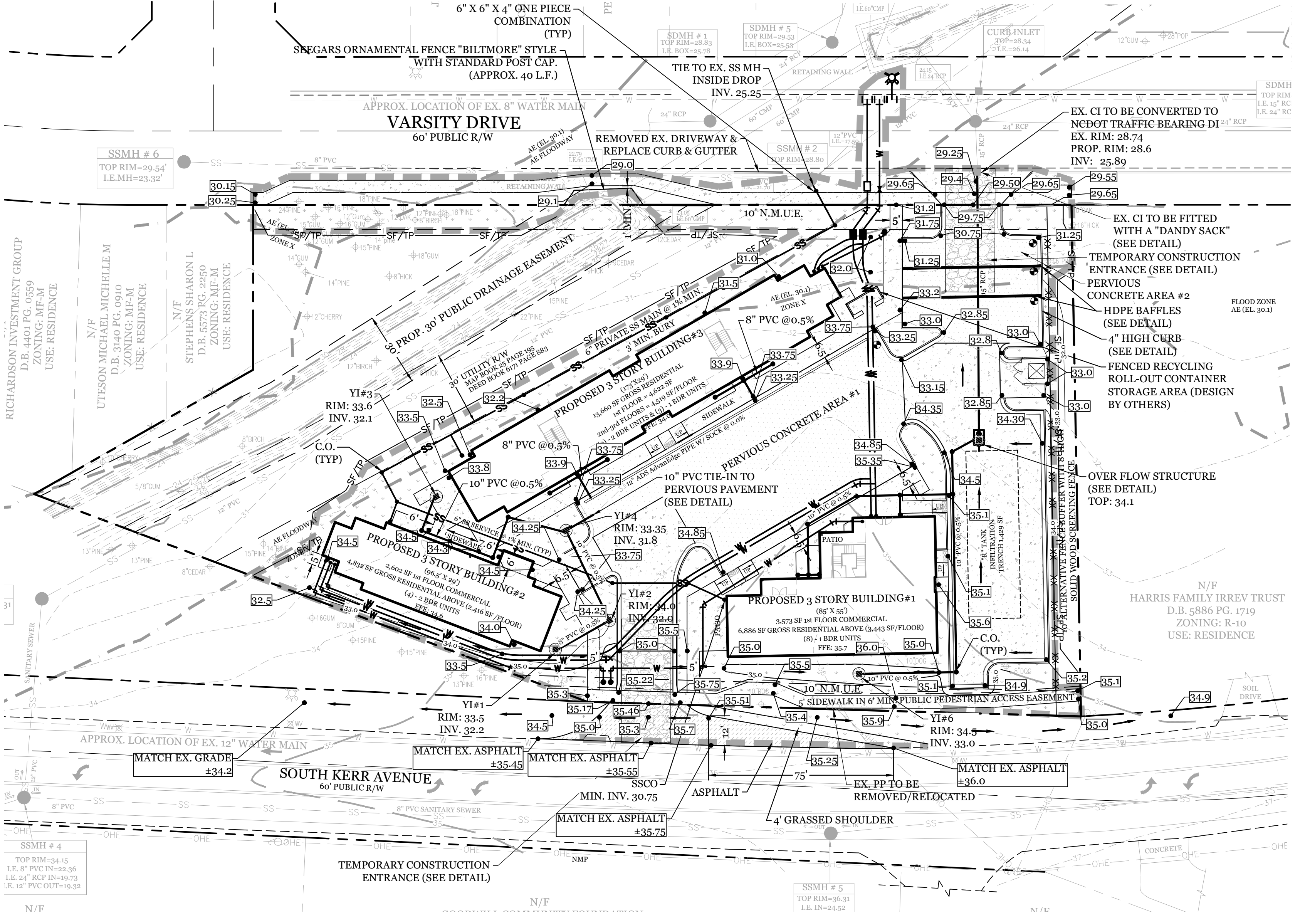
DEVELOPMENT NOTES:

1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
3. ALL ROOF DRAINS TO BE PIPED DIRECTLY INTO PERVIOUS CONCRETE BASE.



REVISIONS

| NO. | DATE | DESCRIPTION |
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NORTH CAROLINA TEMPORARY GRASSING DETAIL

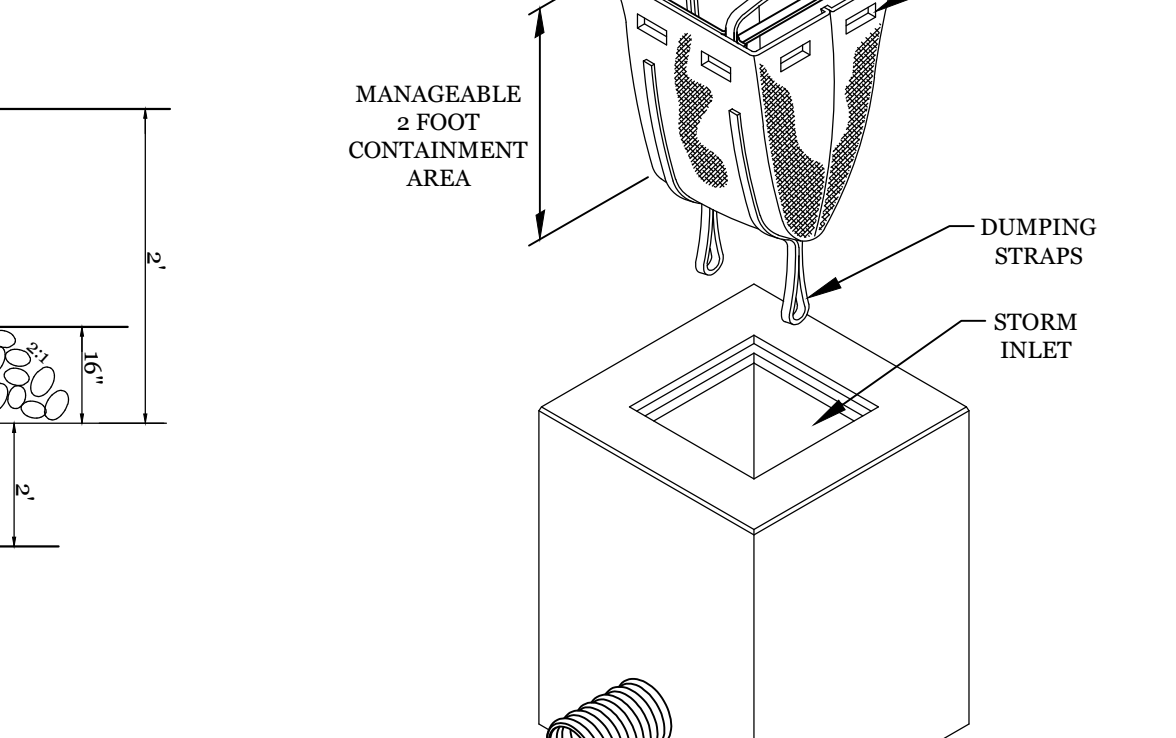
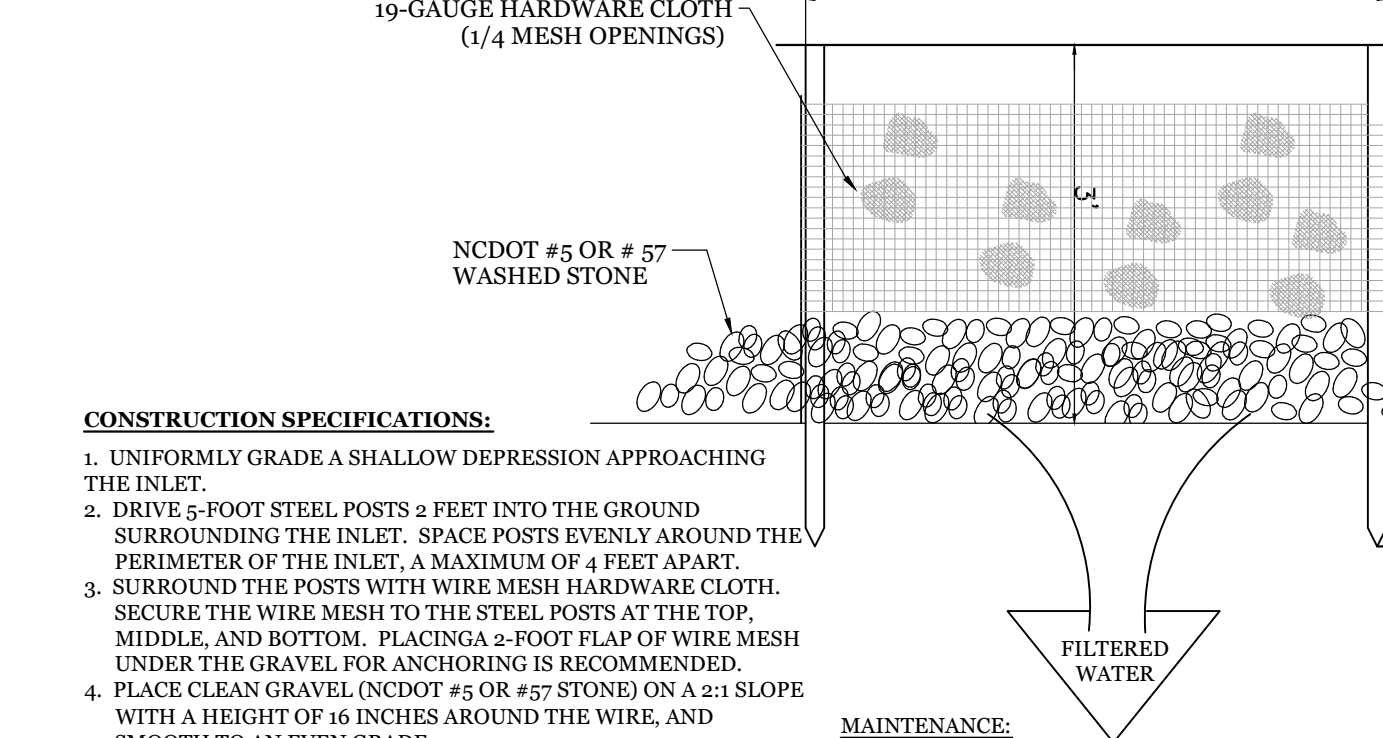
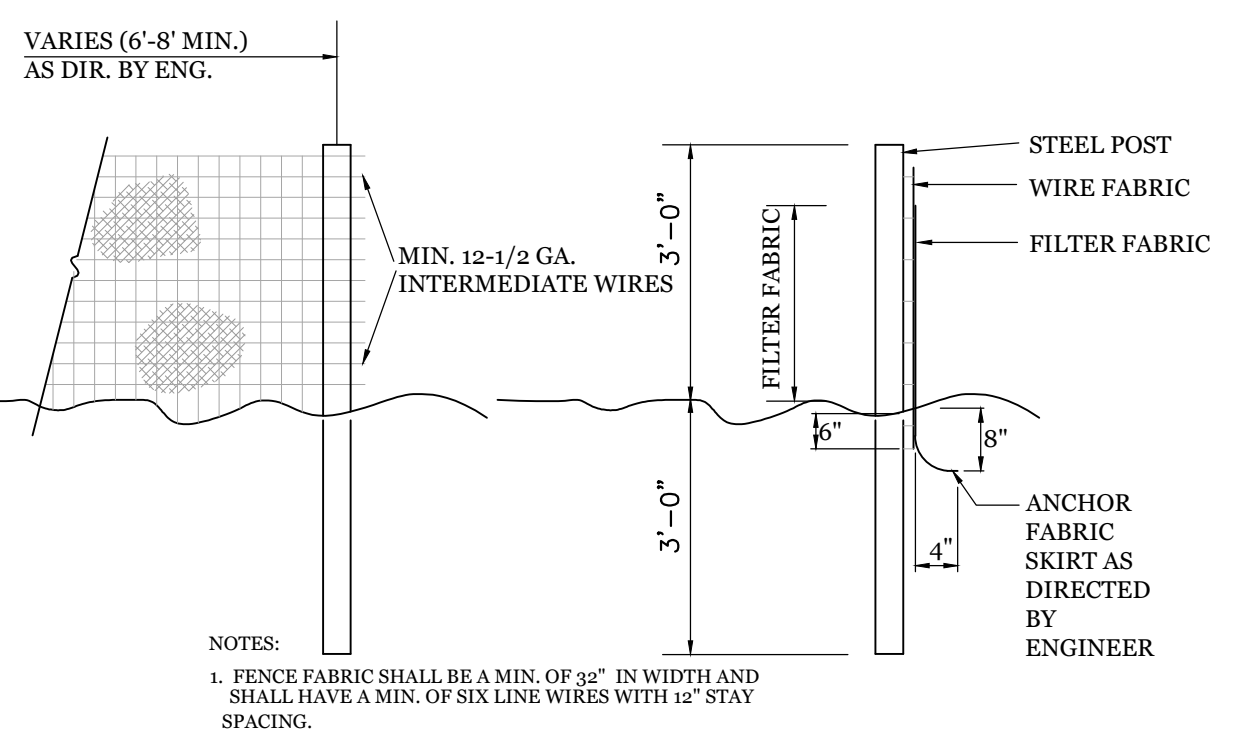
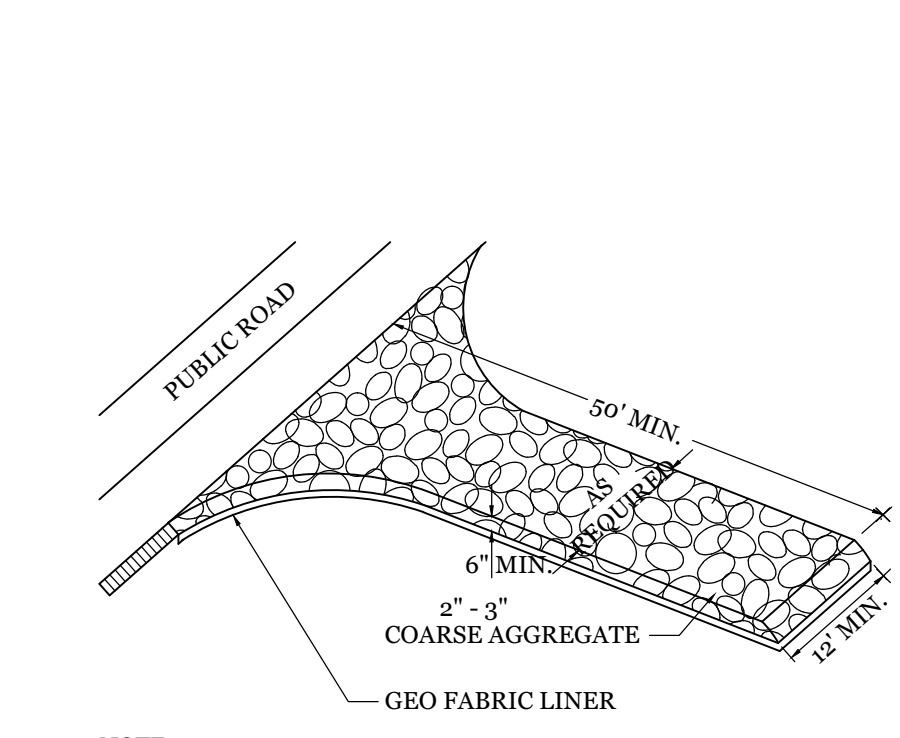
| SEEDING MIXTURE SPECIES | APPLICATION RATE |
|--|-------------------------------|
| LATE WINTER & EARLY SPRING: Rye (grain) Annual Speeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains) Omit annual Speeza when duration of temporary cover is not to extend beyond June | 100 (lb/acre) 50 (lb/acre) |
| SUMMER: German Millet In the Piedmont and Mountains, a small-stemmed sudangrass may be substituted at a rate of 50 (lb/acre) | 40 (lb/acre) |
| FALL: Rye (grain) | 120 (lb/acre) |
| SEEDING DATES | |
| LATE WINTER & EARLY SPRING: Mountains - Above 2500 ft: Feb. 15-May 15 Piedmont - Jan. 1-May 1 Coastal Plain - Dec. 1-Apr. 15 | |
| SUMMER: Mountains - May 15-Aug. 15 Piedmont - May 1-Aug. 15 Coastal Plain - Apr. 15-Aug. 15 | |
| FALL: Mountains - Aug. 15-Dec. 15 Coastal Plain and Piedmont - Aug. 15-Dec. 30 | |
| SOIL AMENDMENTS: Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer. | |
| MULCH: apply 4,000 lb/acre straw, anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. | |
| MAINTENANCE: Refer to following erosion or other damage. | |

NORTH CAROLINA PERMANENT GRASSING DETAIL

| SEEDING MIXTURE SPECIES | APPLICATION RATE |
|---|--|
| FALL & WINTER: Tall Fescue (two or three improved varieties) Rye (grain) | 200 (lb/acre) 25 (lb/acre) |
| SPRING & SUMMER: Pensacola Bahiagrass Sericea Lespedeza Common Bermudagrass German Millet Tall Fescue | 50 (lb/acre) 30 (lb/acre) 10 (lb/acre) 10 (lb/acre) 50 (lb/acre) |
| SEEDING DATES | |
| FALL & WINTER: January - April August - December | |
| SOIL AMENDMENTS: Apply lime and fertilizer according to soil tests, or apply 3,000-5,000 lb/acre ground agricultural limestone (use the lower rate on sandy soils) and 1,000 lb/acre 10-10-10 fertilizer. | |
| MAINTENANCE: Fertilize according to soil tests or apply 40 lb/acre nitrogen in January or February, 40 lb in September and 60 lb in November, from a 12-4-8, 16-4-8, or similar turf fertilizer. Avoid fertilizer applications during warm weather, as this increases stand losses to disease. Reseed, fertilize, and mulch damaged areas immediately, mow to a height of 2.5-3.5 inches as needed. | |
| SPRING & SUMMER: April 1 - July 15 | |
| SOIL AMENDMENTS: Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agriculture limestone and 500 lb/acre 10-10-10 fertilizer. | |
| MAINTENANCE: Refer to following erosion or other damage. | |
| MULCH: apply 4,000 lb/acre straw, anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. | |

| SYMBOL | GROUND STABILIZATION CRITERIA | | |
|----------|--|-------------------------|---|
| | SITE AREA DESCRIPTION | STABILIZATION TIMEFRAME | STABILIZATION TIMEFRAME EXCEPTIONS |
| [Symbol] | * Perimeter dikes, ditches and slopes | 7 Days | None |
| [Symbol] | * High Quality Water (HQW) Zones | 7 Days | None |
| [Symbol] | * Slopes Steeper than 3:1 | 7 Days | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed |
| [Symbol] | * Slopes 3:1 or flatter | 14 Days | 7-days for slopes greater than 50 ft. in length |
| [Symbol] | * All other areas with slopes flatter than 4:1 | 14 Days | None (except for perimeters & HQW Zones) |

BUILDING WASTE HANDLING:
 - NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS
 - DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES ARE AVAILABLE.
 - EARTHEN MATERIAL STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES ARE AVAILABLE.
 - CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS, OR BUFFERS.
INSPECTIONS:
 - SAME WEEKLY REQUIREMENTS
 - SAME RAIN GAUGE & INSPECTIONS AFTER 0.50" RAIN EVENT.
 - INSPECTIONS ARE ONLY REQUIRED DURING "NORMAL BUSINESS HOURS"
 - INSPECTION REPORTS MUST BE AVAILABLE ON-SITE DURING BUSINESS HOURS UNLESS A SITE-SPECIFIC EXEMPTION IS APPROVED.
 - RECORDS MUST BE KEPT FOR 3 YEARS AND AVAILABLE UPON REQUEST.
 - ELECTRONICALLY AVAILABLE RECORDS MAY BE SUBSTITUTED UNDER CERTAIN CONDITIONS.
SEDIMENT BASINS:
 - OUTLET STRUCTURES MUST BE WITHDRAWN FROM BASIN SURFACES UNLESS DRAINAGE AREA IS LESS THAN 1 ACRE.
 - USE ONLY DWO APPROVED FLOCCULANTS.

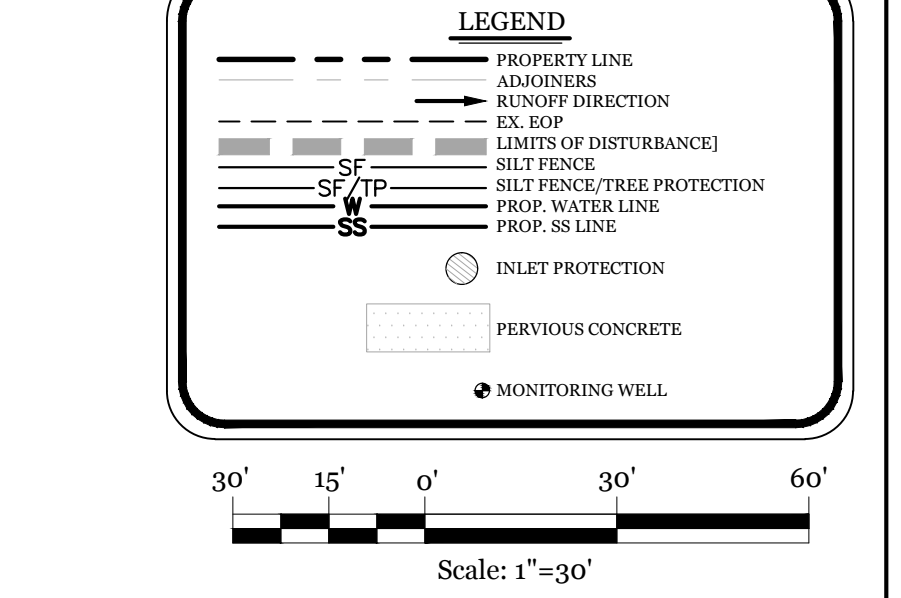


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
 NTS

TEMPORARY SILT FENCE
 NTS

HARDWARE CLOTH AND GRAVEL INLET PROTECTION
 NTS

DANDY SACK DETAIL
 NTS



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 Email: Charlie@intracoastalengineering.com
 License Number: P-0662

SEDIMENTATION & EROSION CONTROL PLAN
 FOR
THE VARSITY
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC

PROFESSIONAL ENGINEER
 CHARLES D. CALZIER
 03858

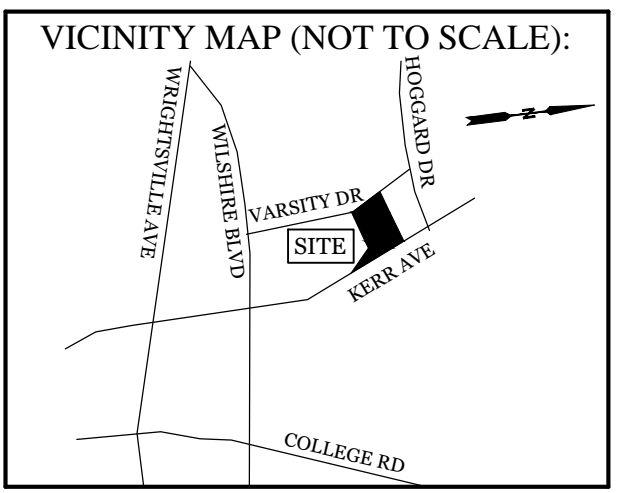
CLIENT INFORMATION:
 Real Properties, LLC.
 Matt Scharf
 1319-CC Military Cutoff Rd #172
 Wilmington, NC 28405
 Ph. 910-538-9901

DRAWN: JAE SHEET SIZE: 24x36
 CHECKED: CDC DATE: 8/24/2020
 APPROVED: CDC SCALE: 1" = 30'
 PROJECT NUMBER: 2019-021
 DRAWING NUMBER: **C-3**
 4 OF 8

CITY OF WILMINGTON
NORTH CAROLINA

PROJECT: [REDACTED]
SHEET: [REDACTED]

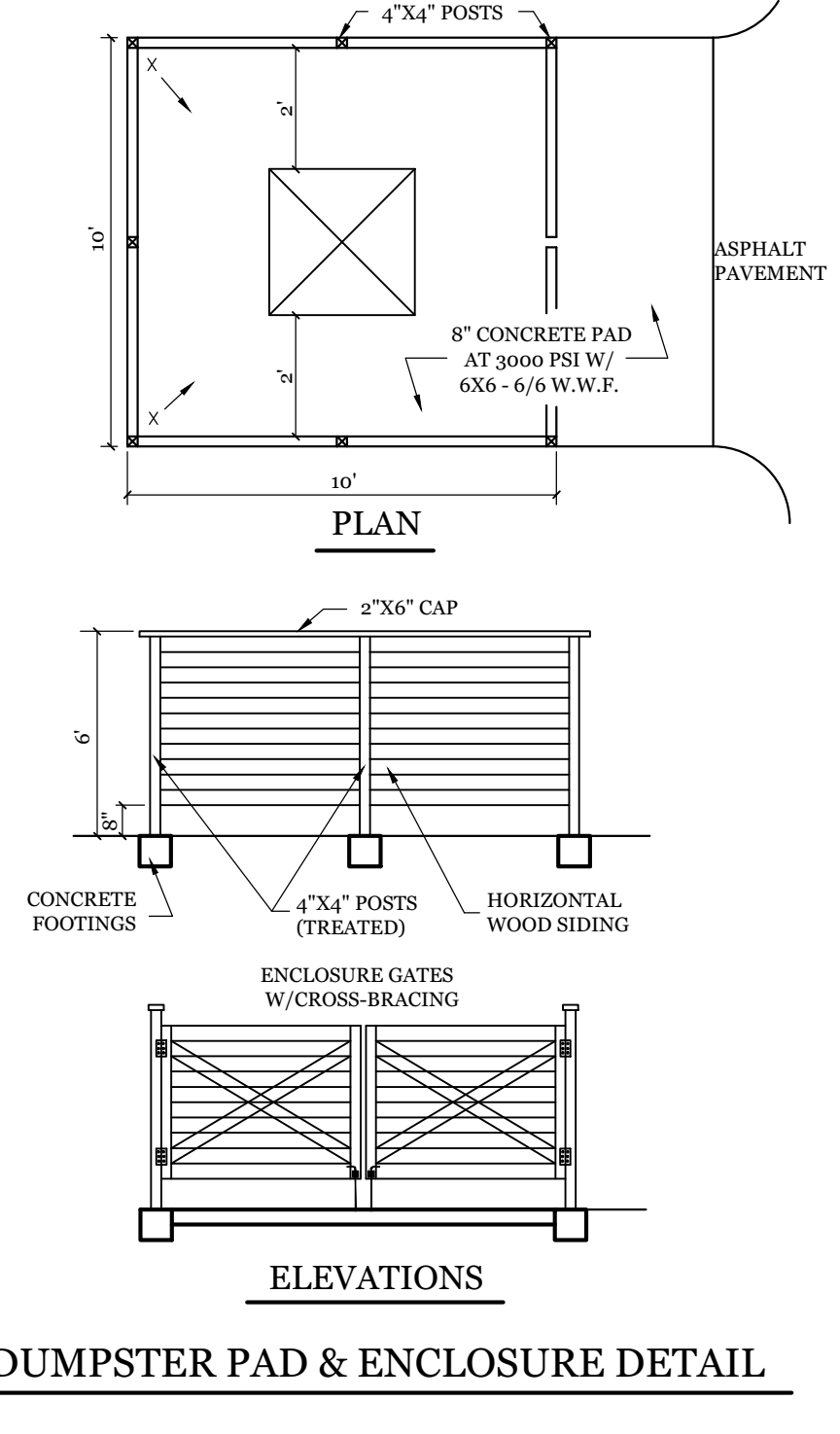
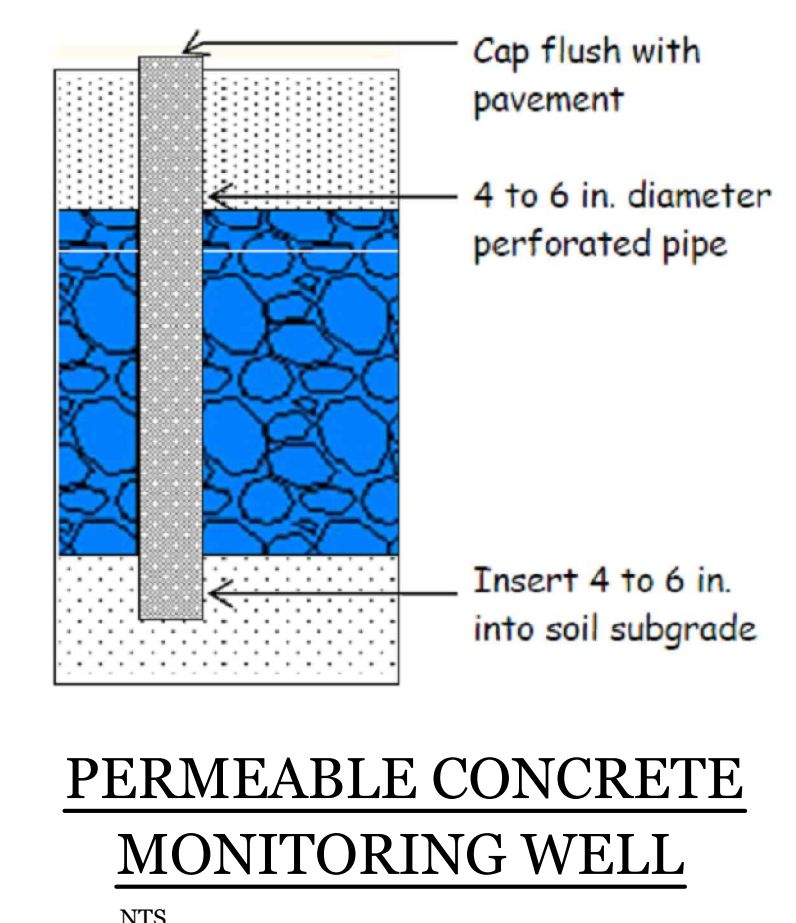
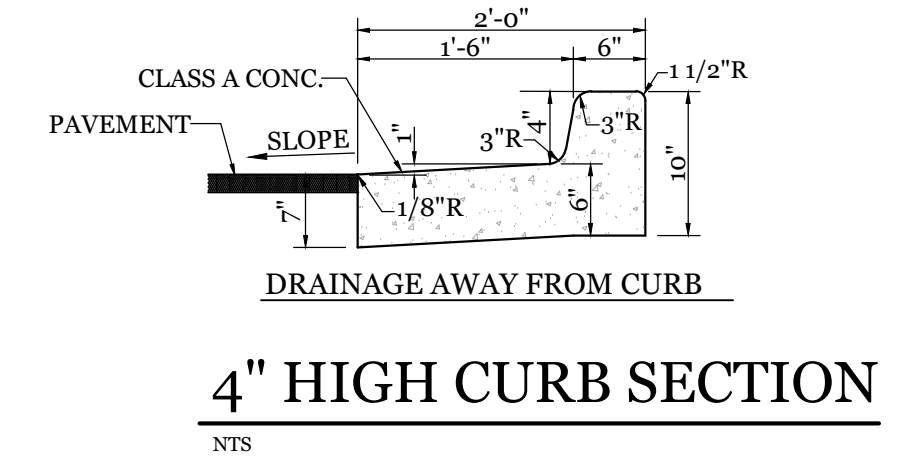
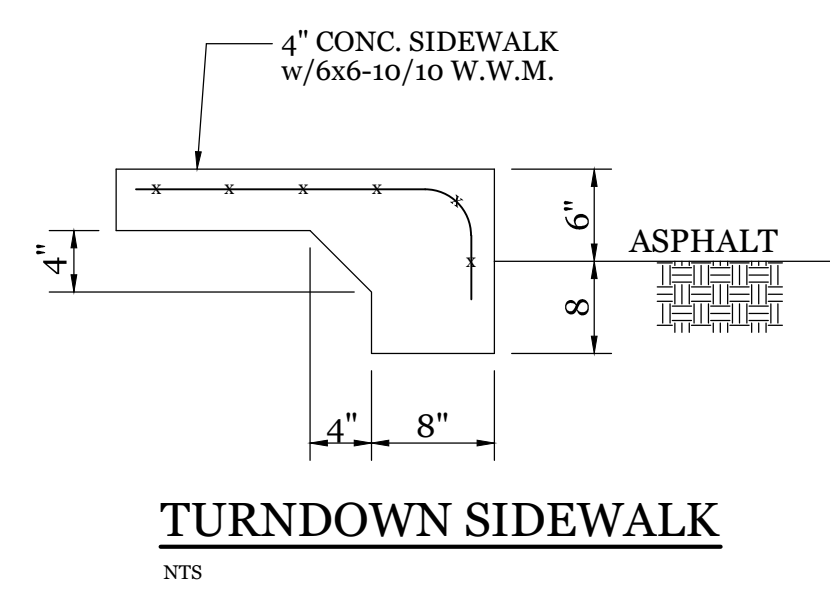
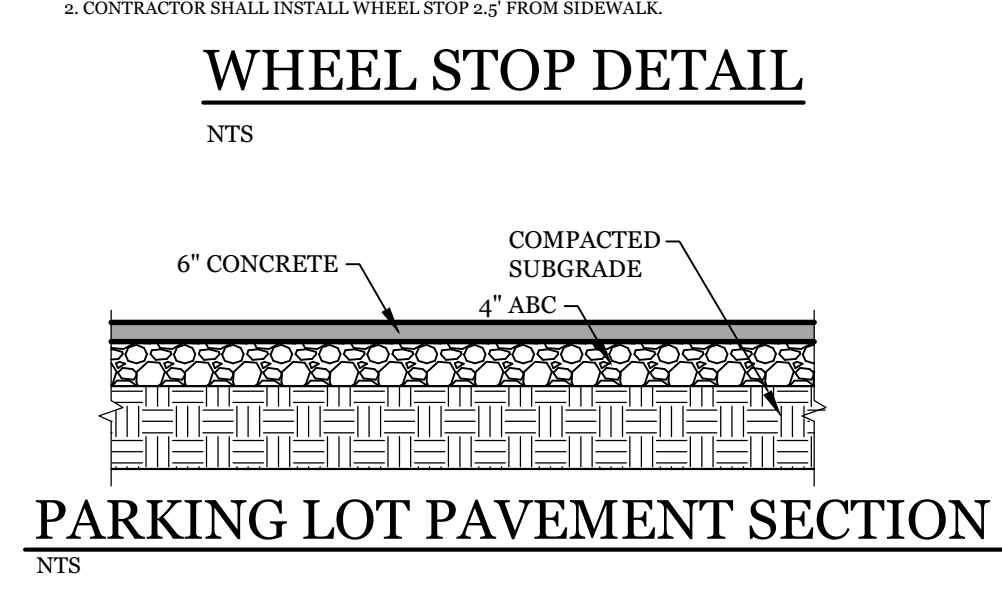
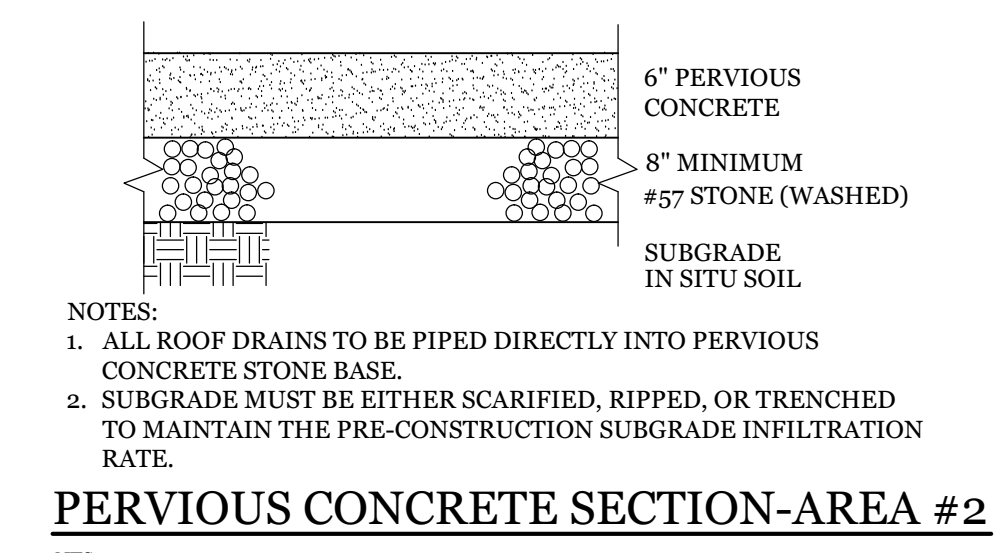
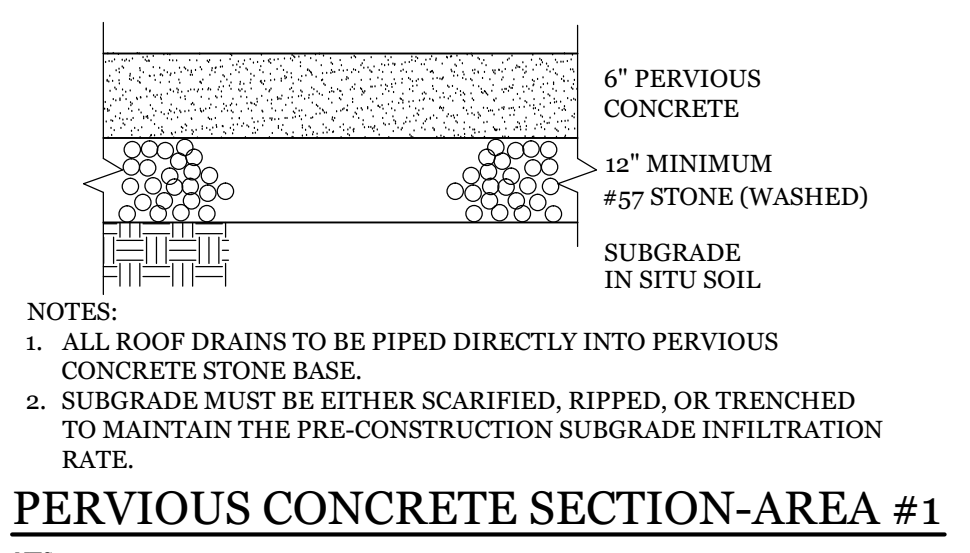
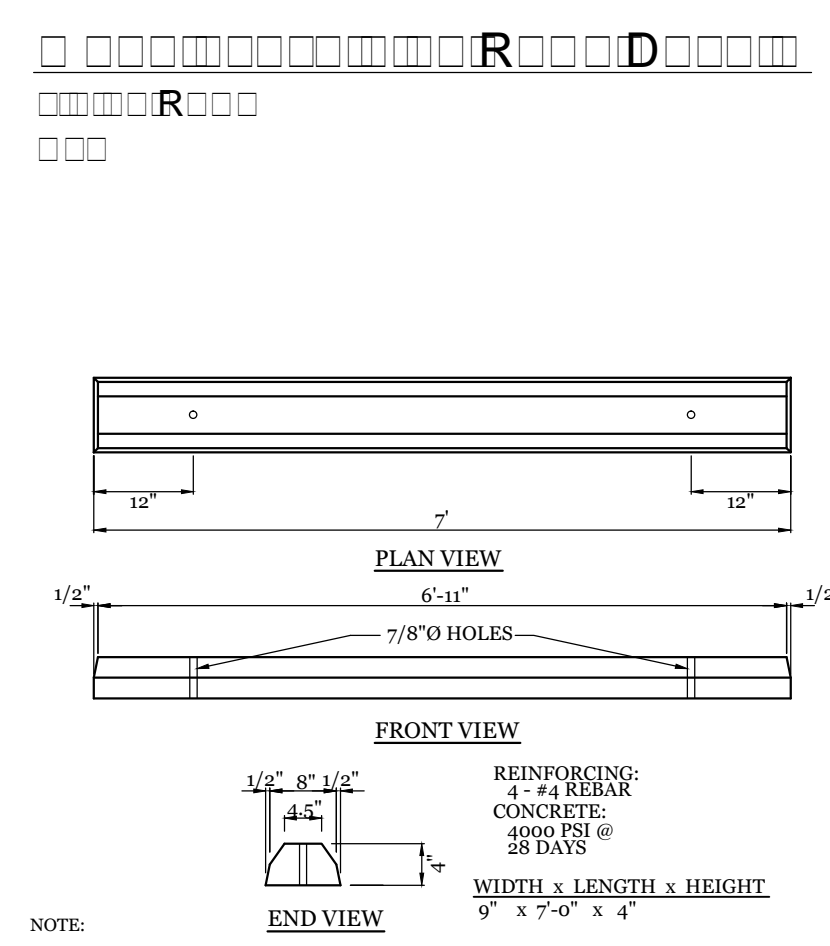
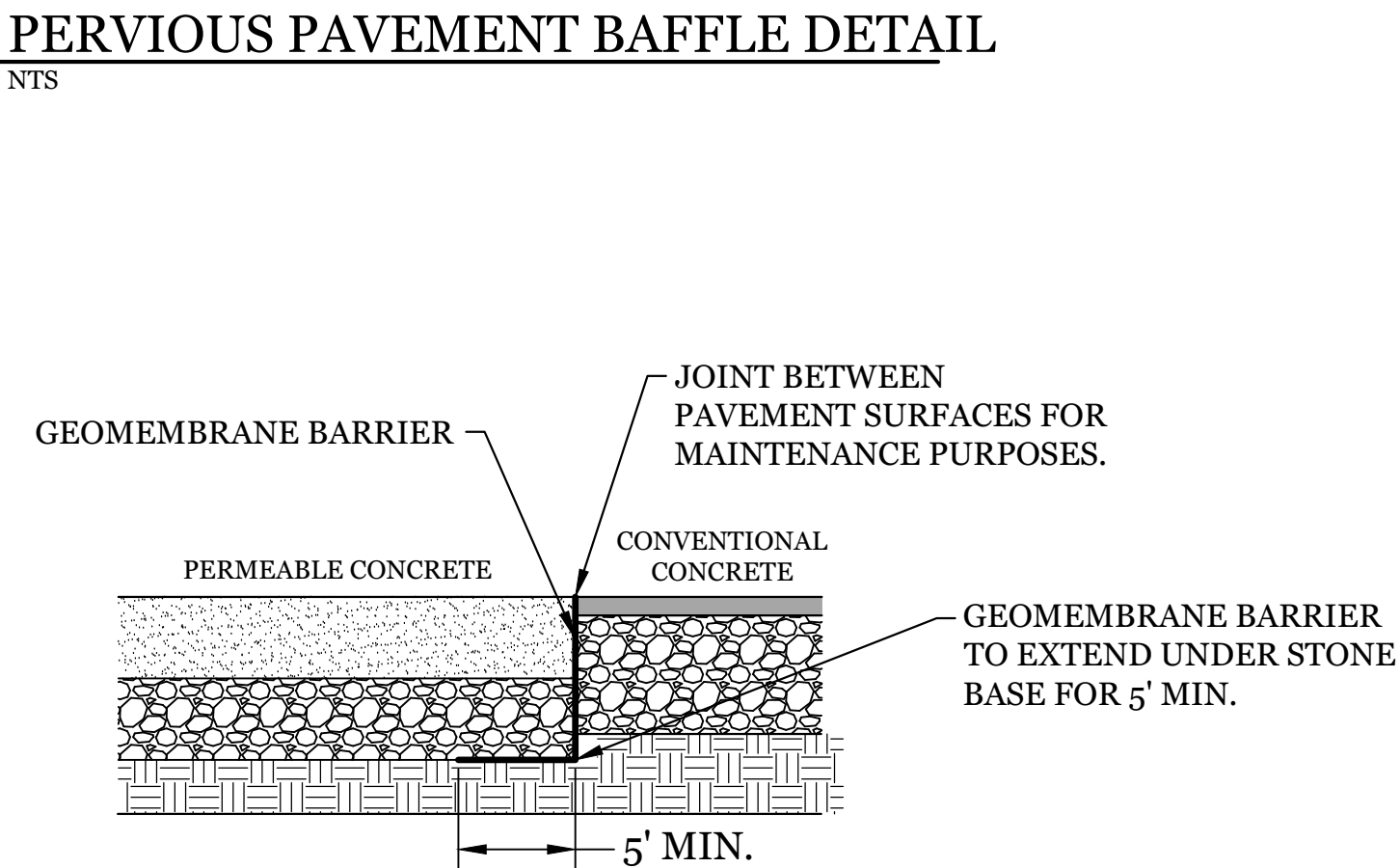
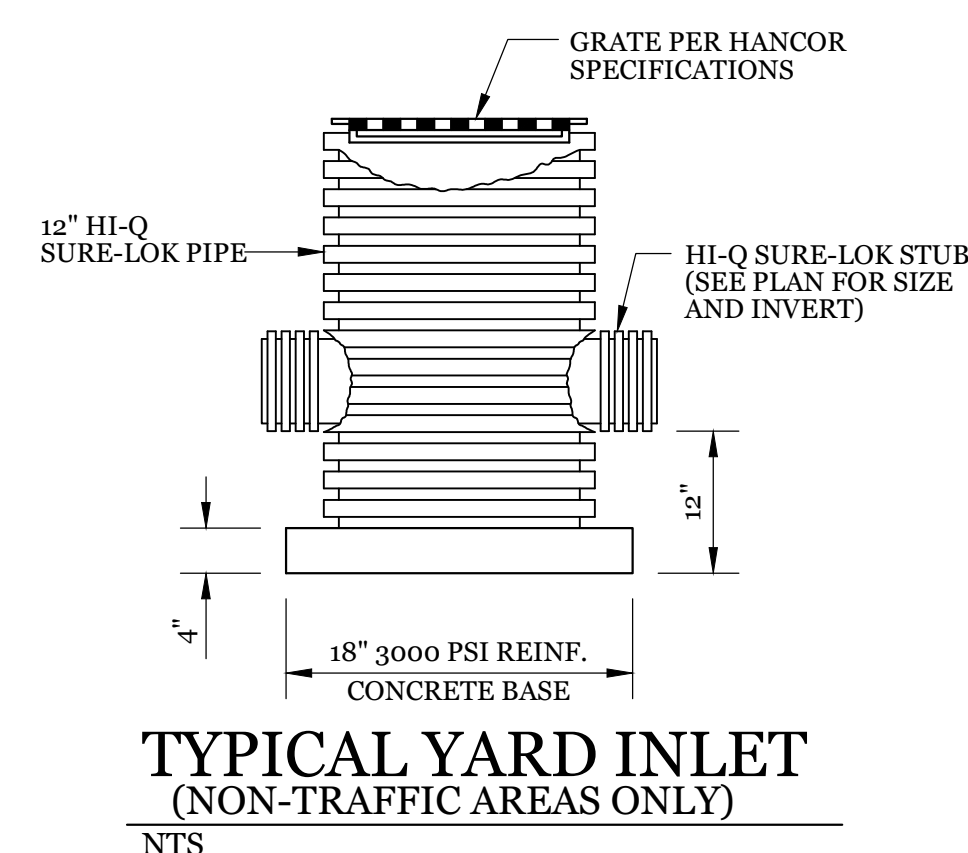
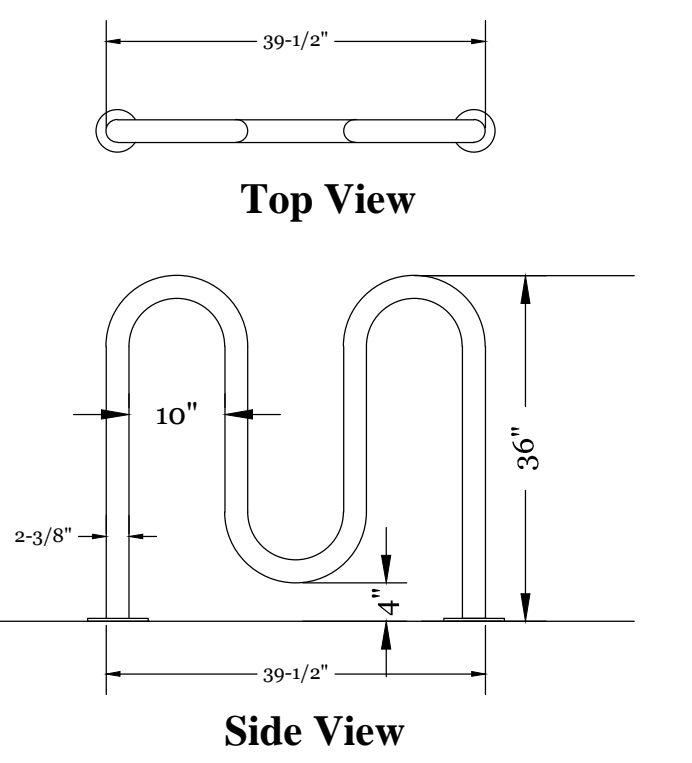
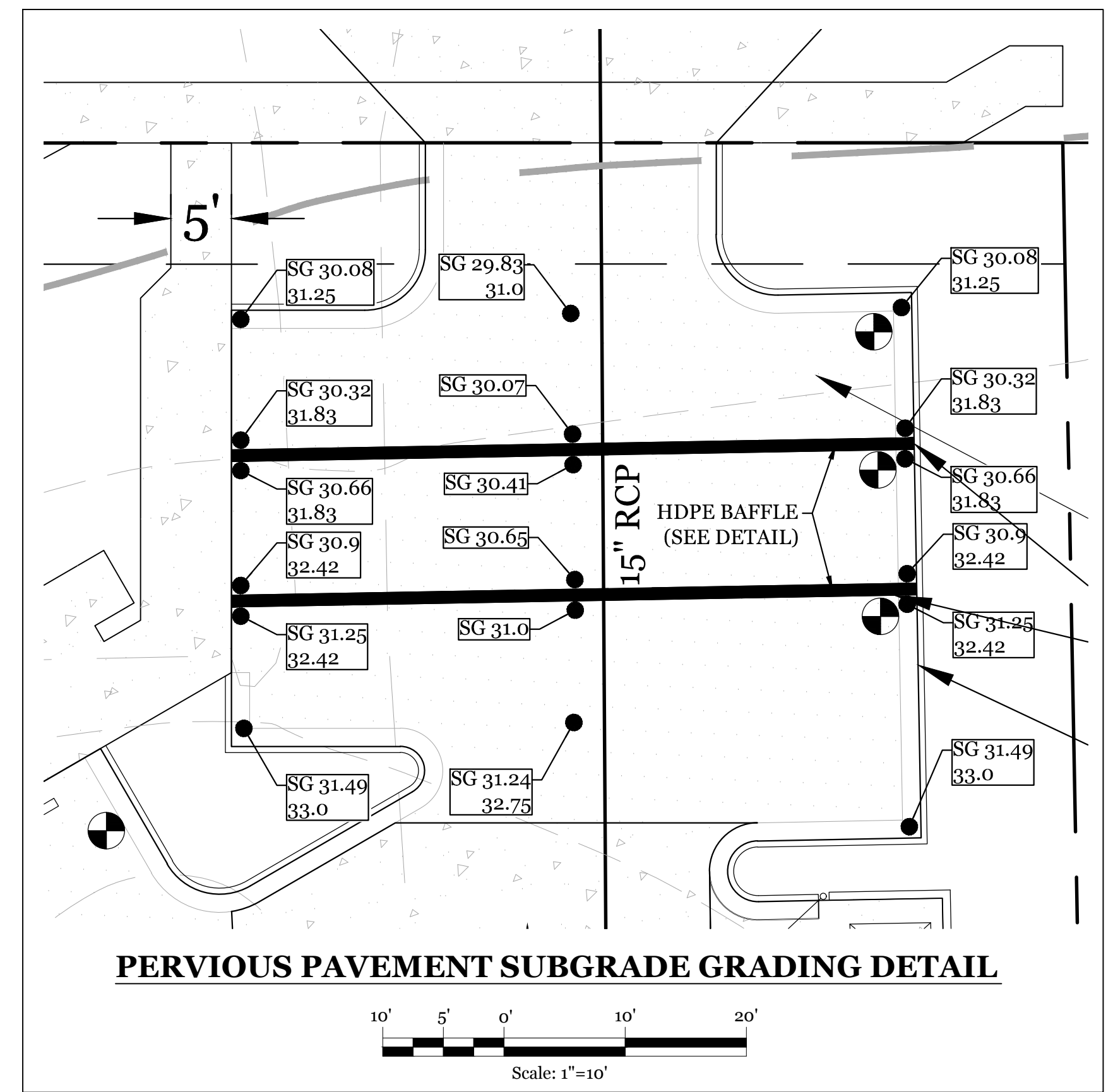
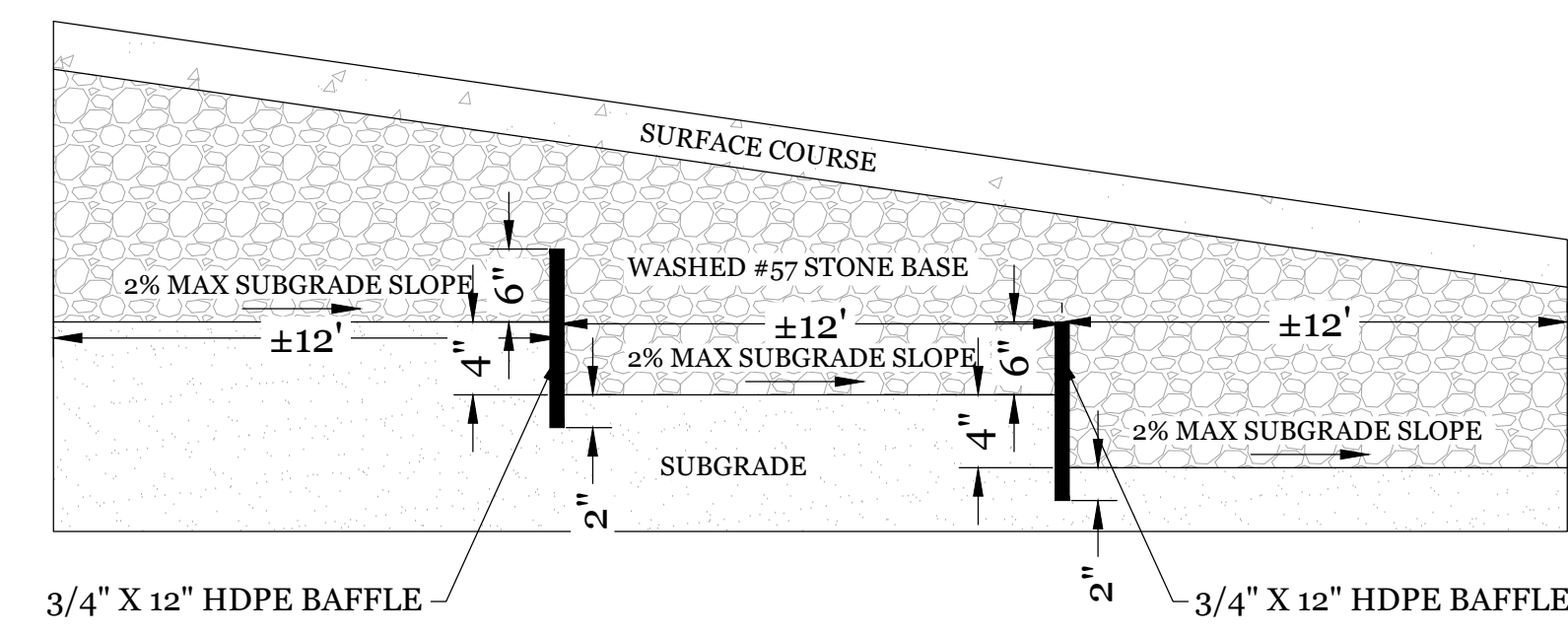
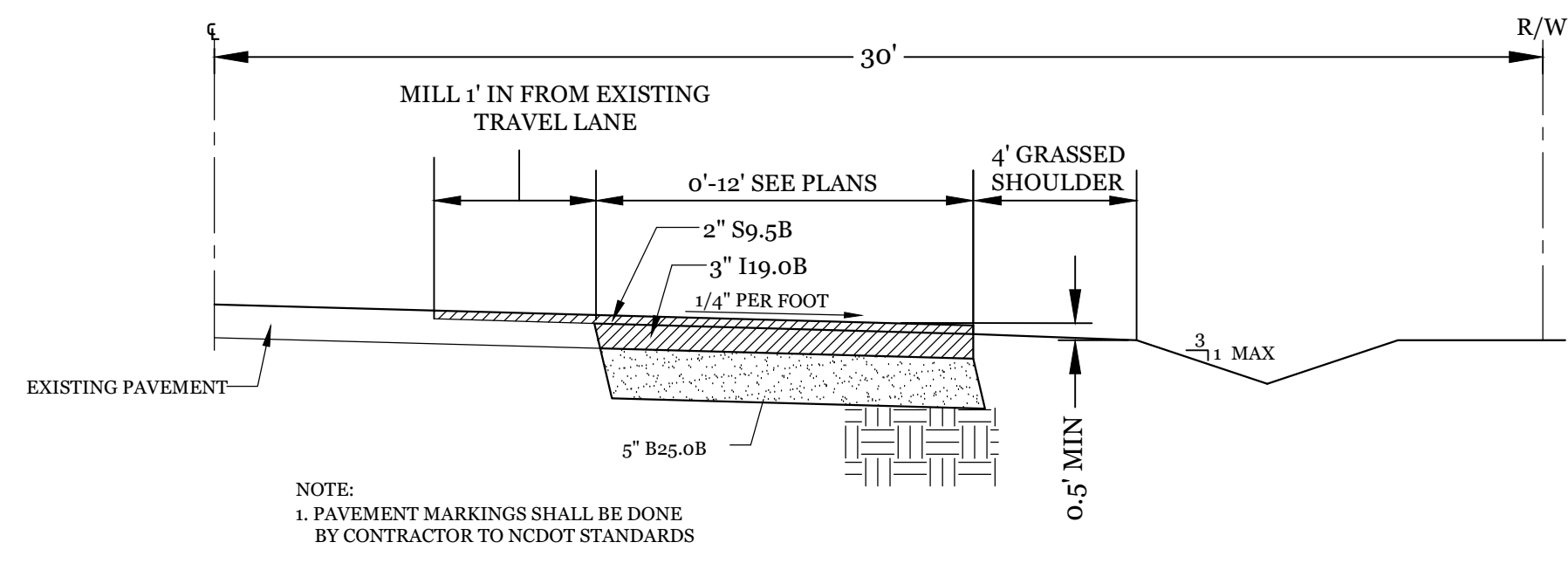
- SITE WORK NOTES:**
1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
 2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
 3. GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
 4. MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
 5. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
 6. FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
 7. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
 8. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
 9. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
 10. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
 11. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE. IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
 13. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 14. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
 15. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
 16. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CPDUA CODES, METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
 17. ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
 18. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
 19. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
 20. FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
 21. ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.



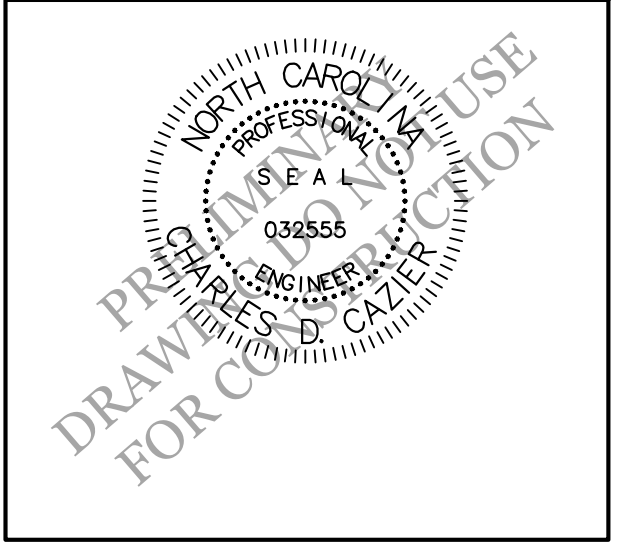
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INTRACOASTAL ENGINEERING, PLLC
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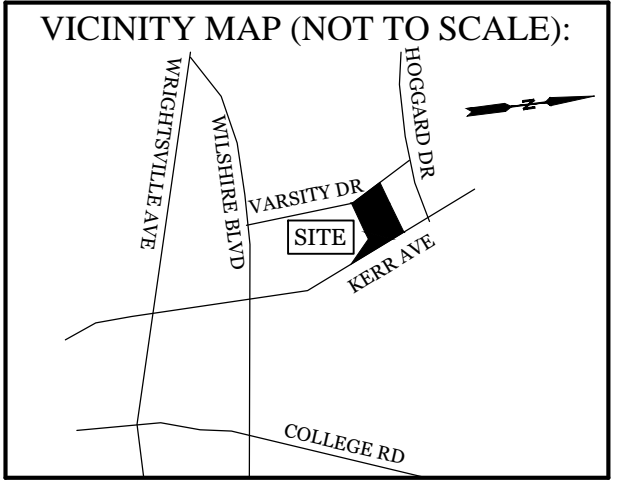
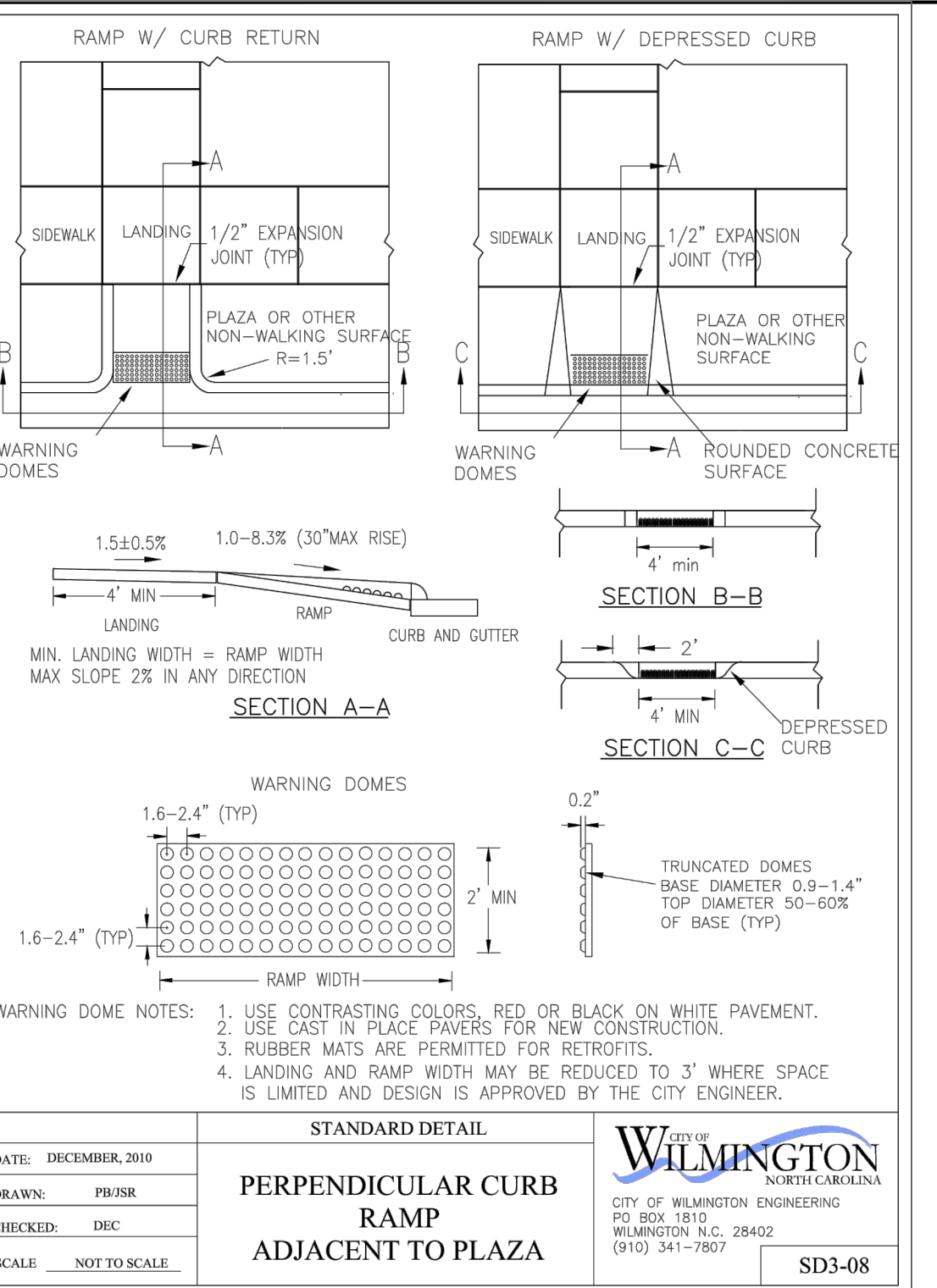
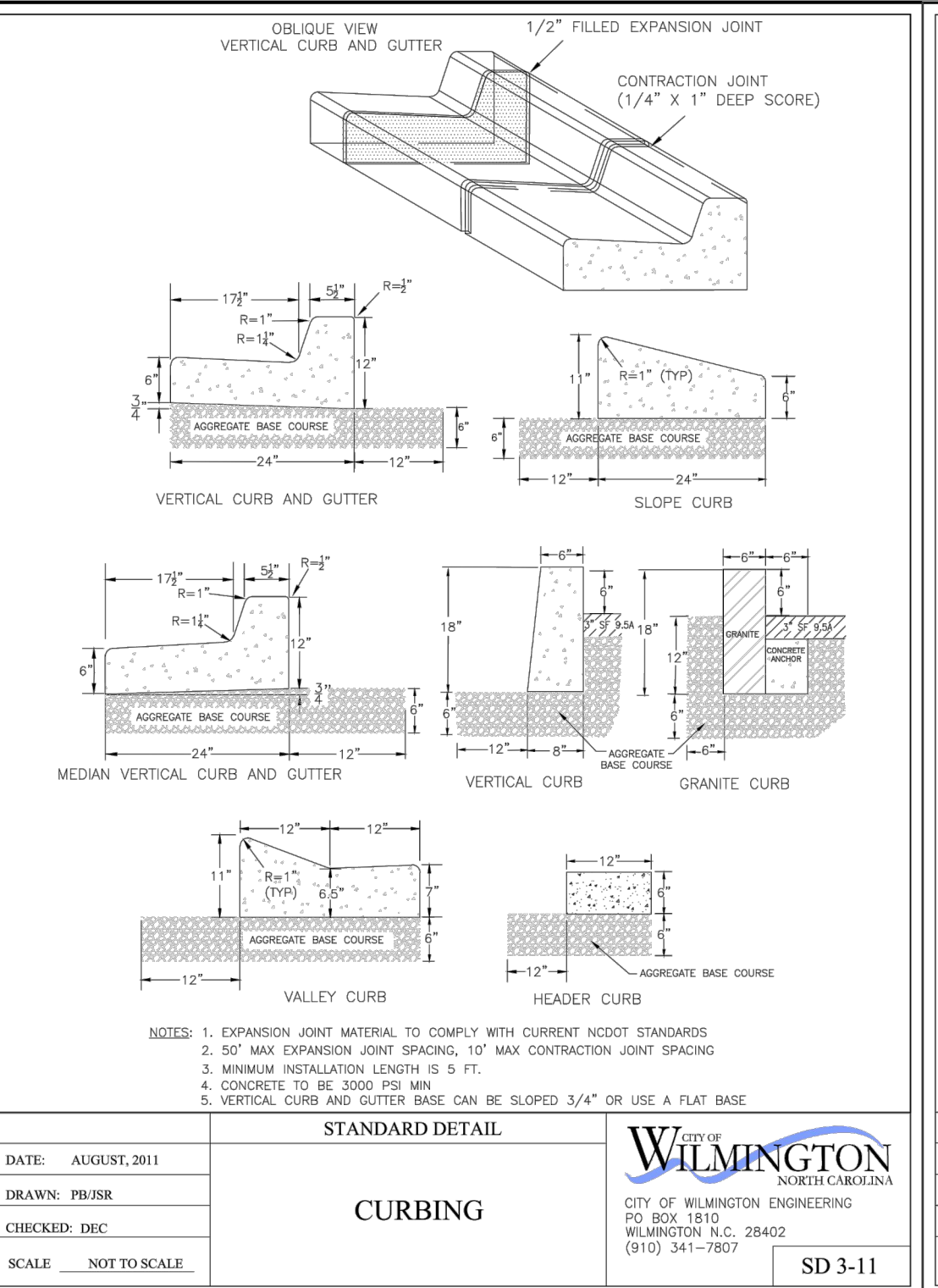
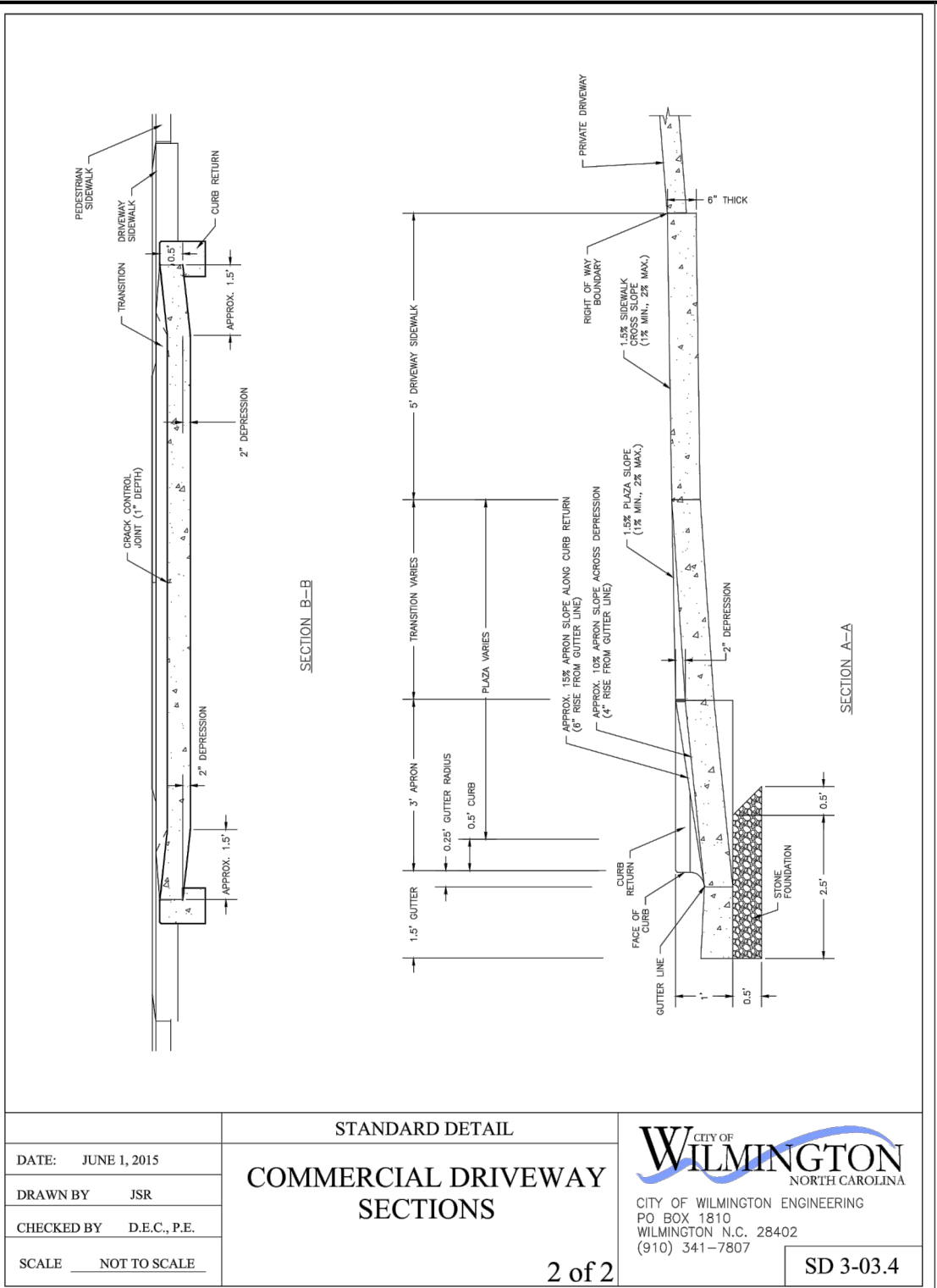
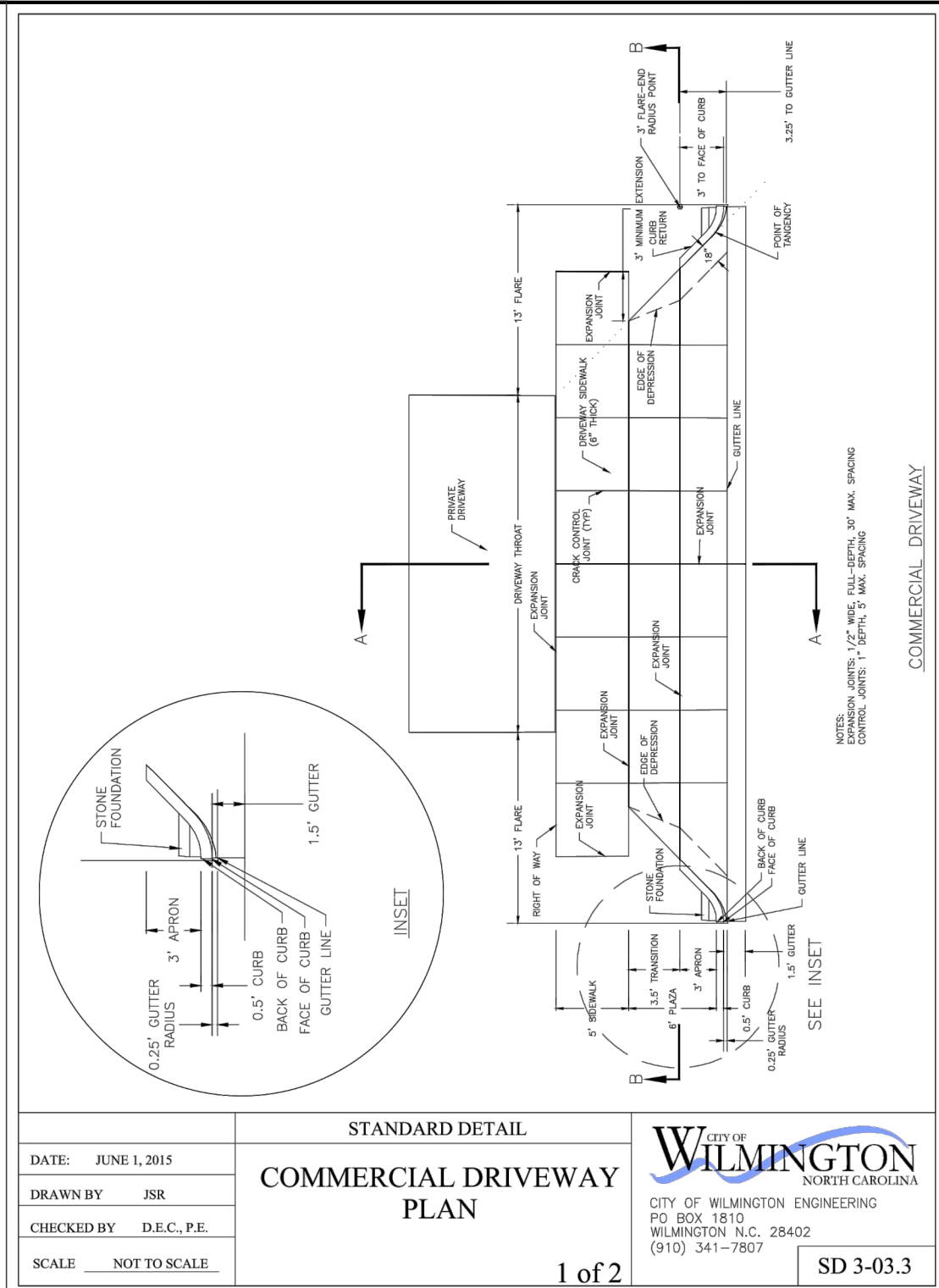
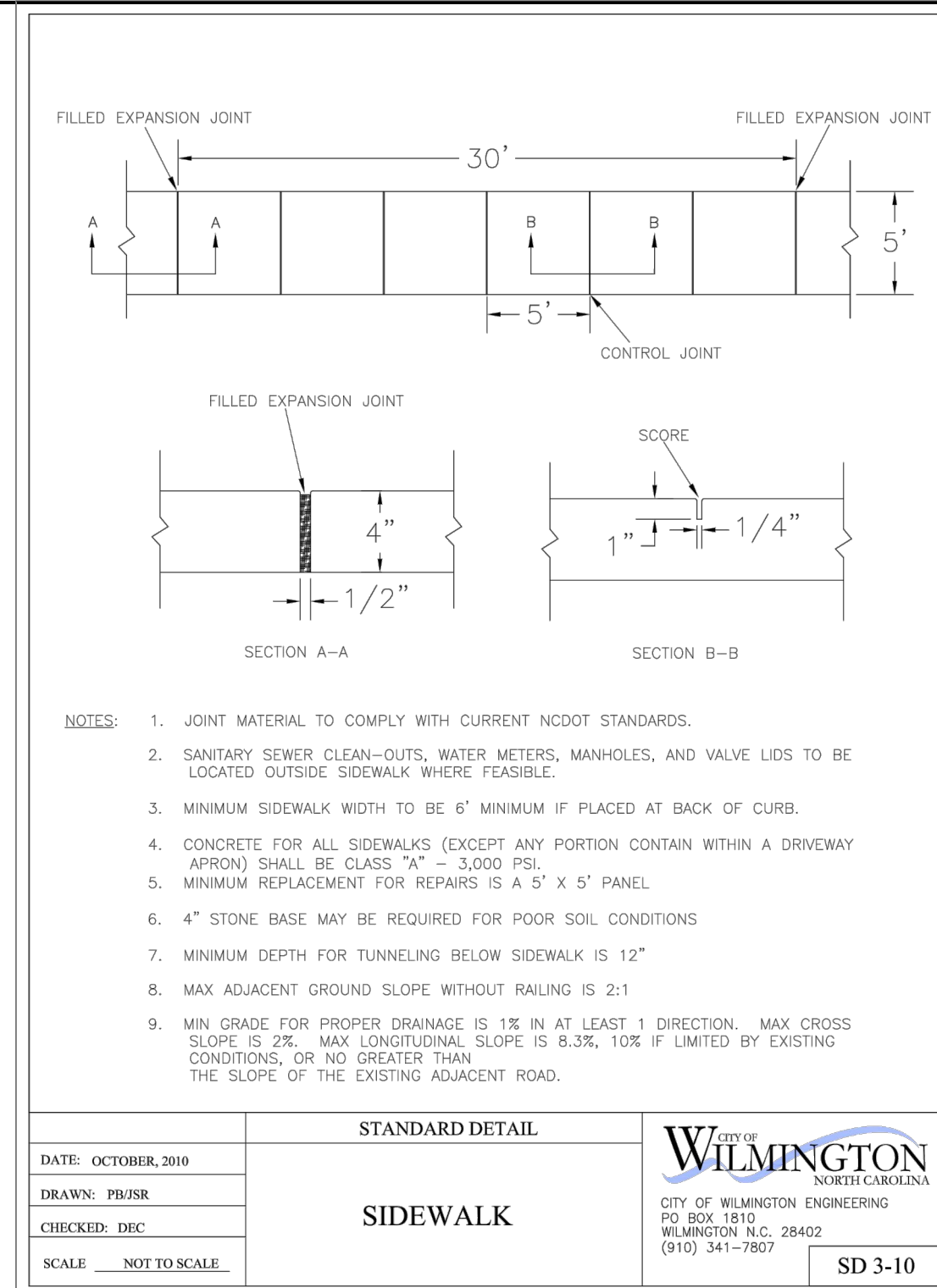
DETAILS FOR THE VARSITY CITY OF WILMINGTON, NC
611 VARSITY DR, 724 & 716 SOUTH KERR AVE.
NEW HANOVER COUNTY, NC



CLIENT INFORMATION:
Real Properties, LLC.
Matt Scharf
1319-CC Military Cutoff Rd #172
Wilmington, NC 28405
Ph. 910-538-9901

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|--------------------------|-------------------|
| DRAWN: JAE | SHEET SIZE: 24x36 |
| CHECKED: CDC | DATE: 8/24/2020 |
| APPROVED: CDC | SCALE: NTS |
| PROJECT NUMBER: 2019-021 | |

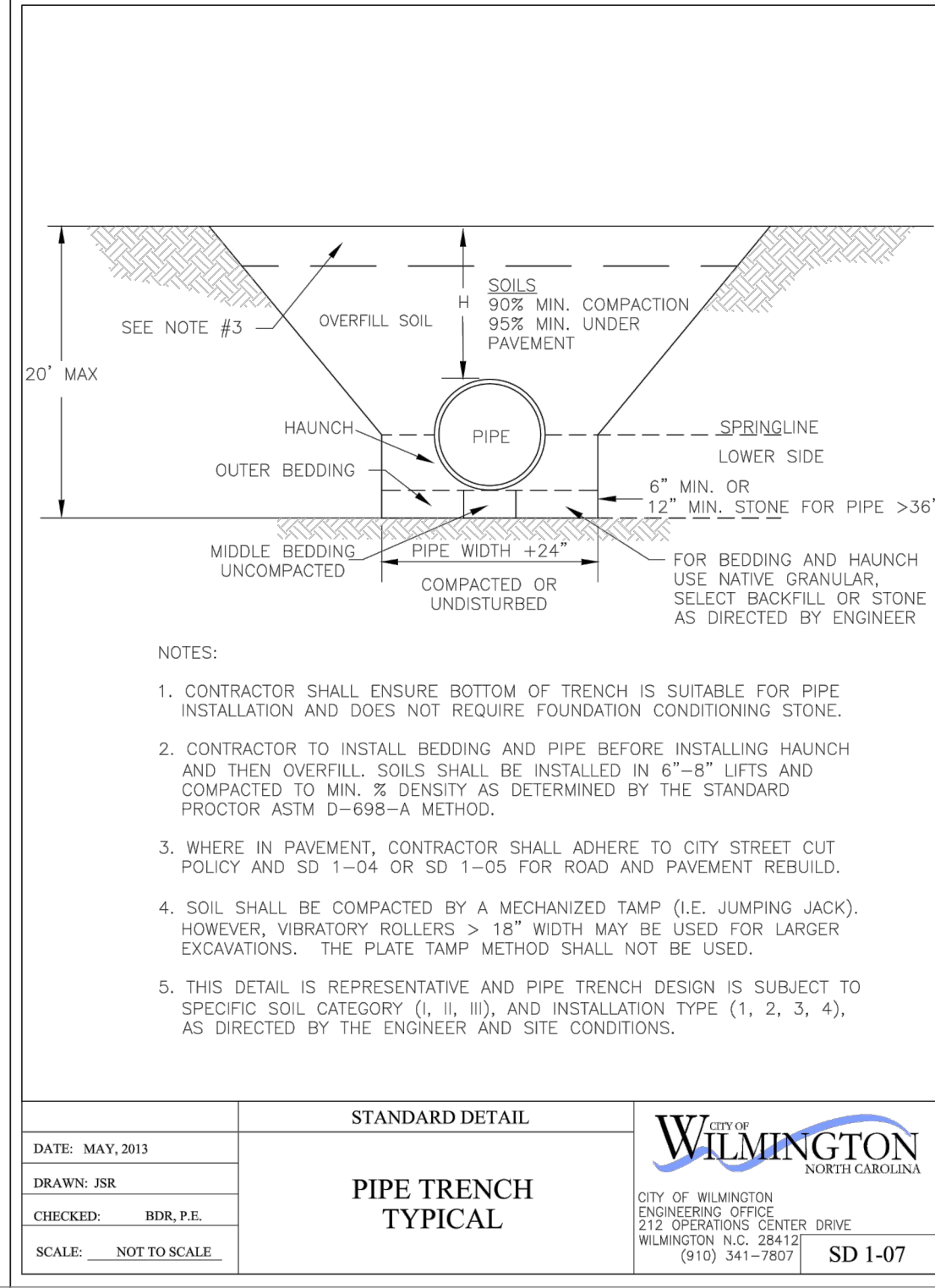
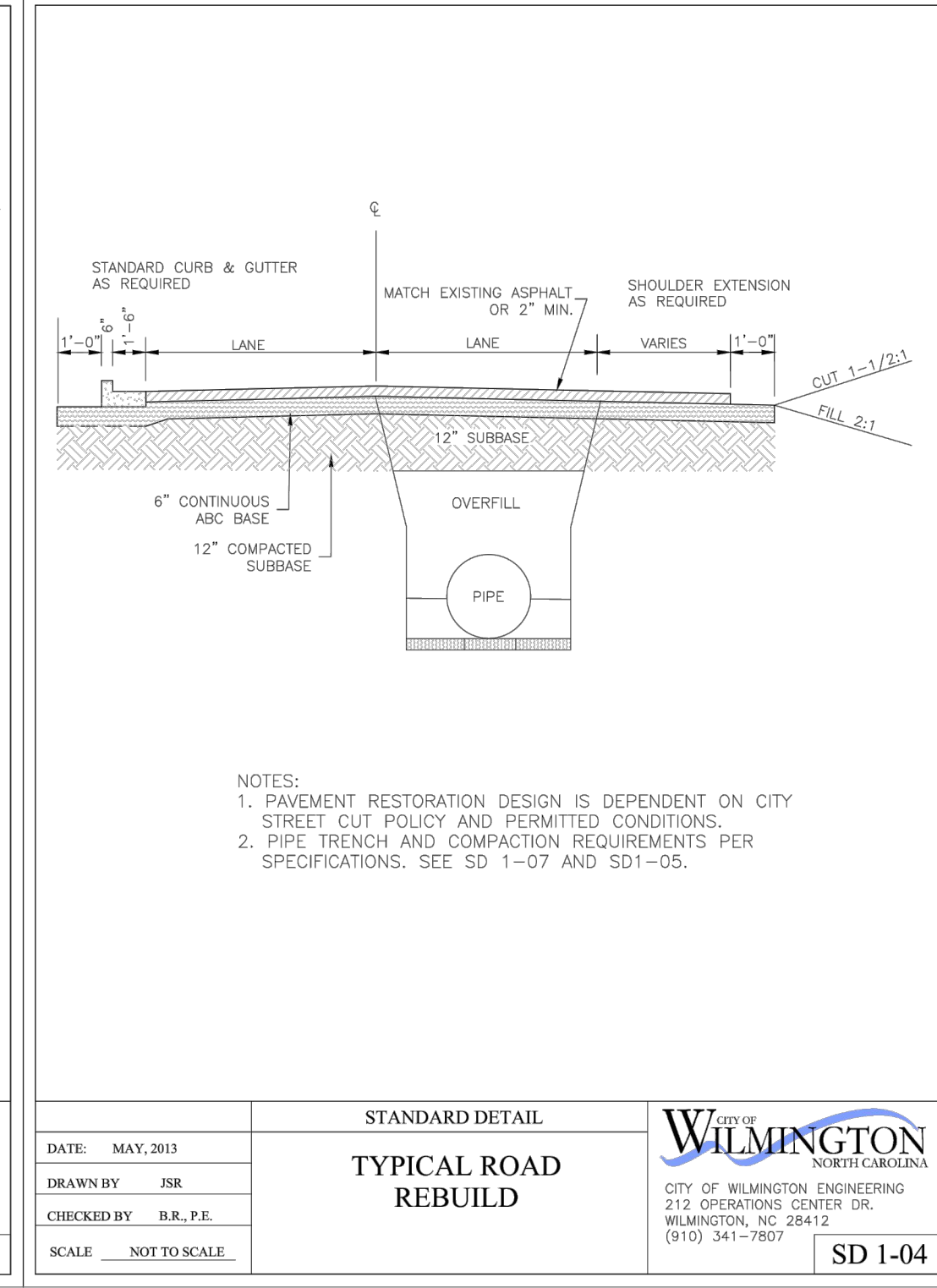
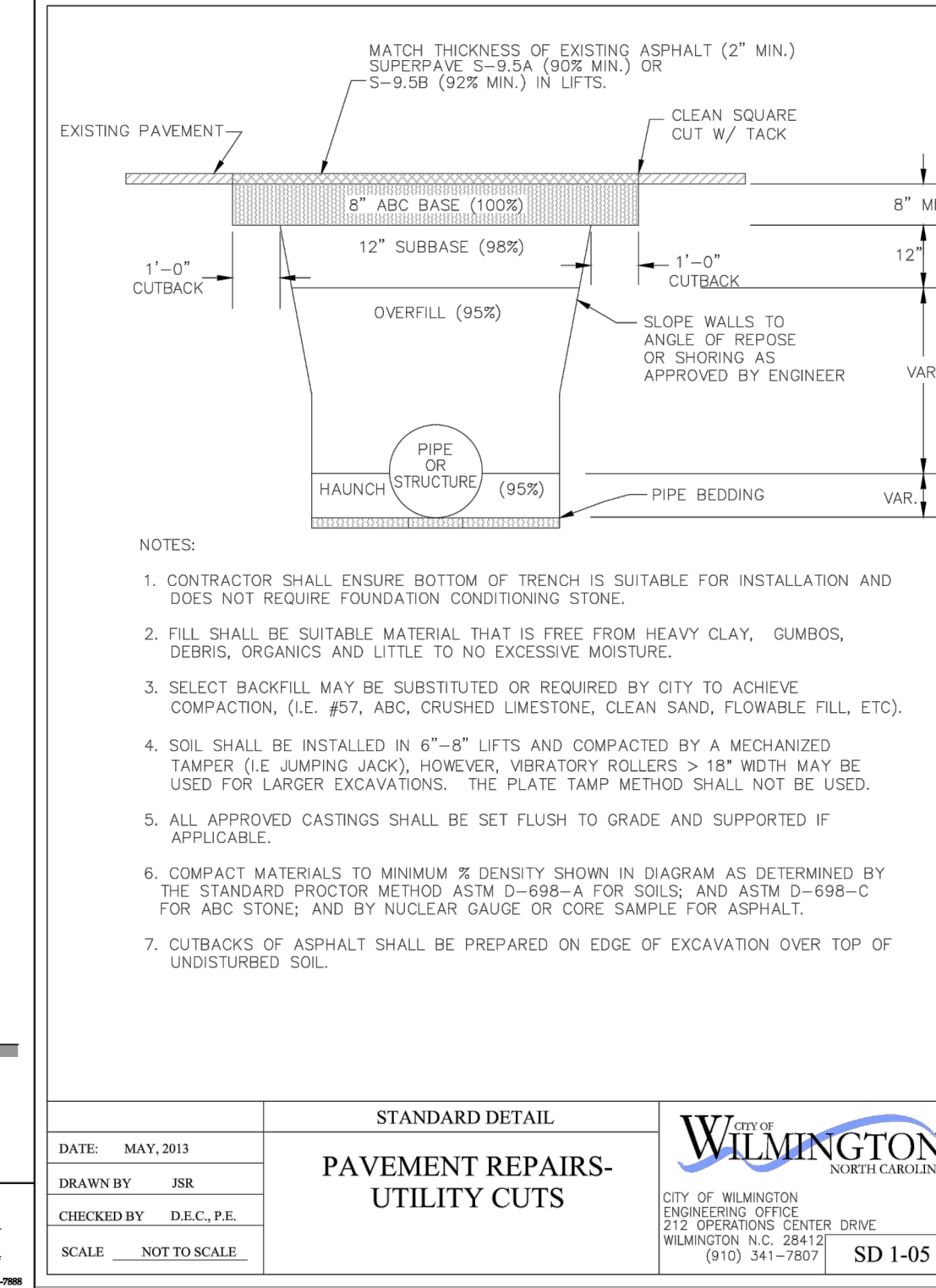
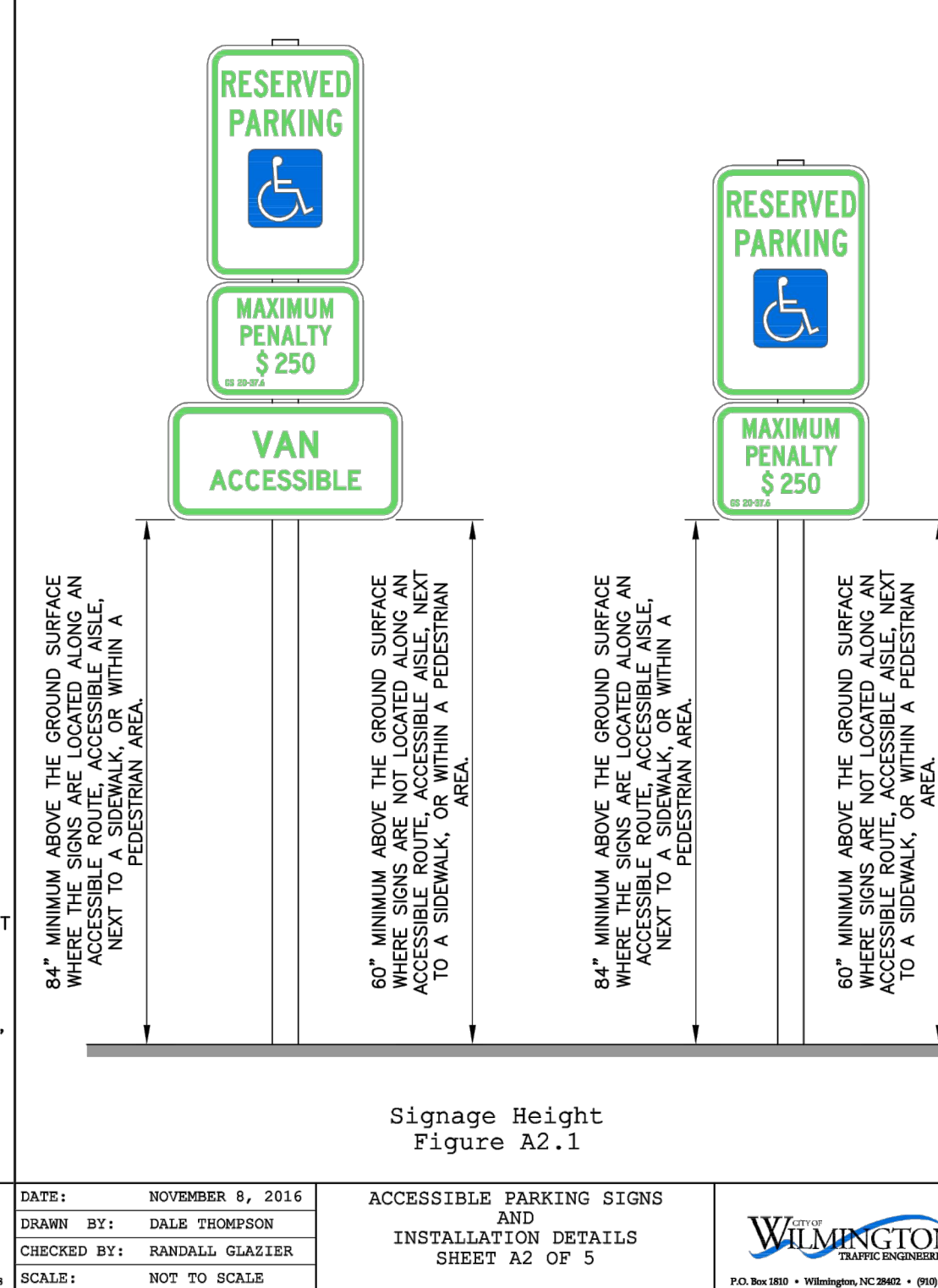
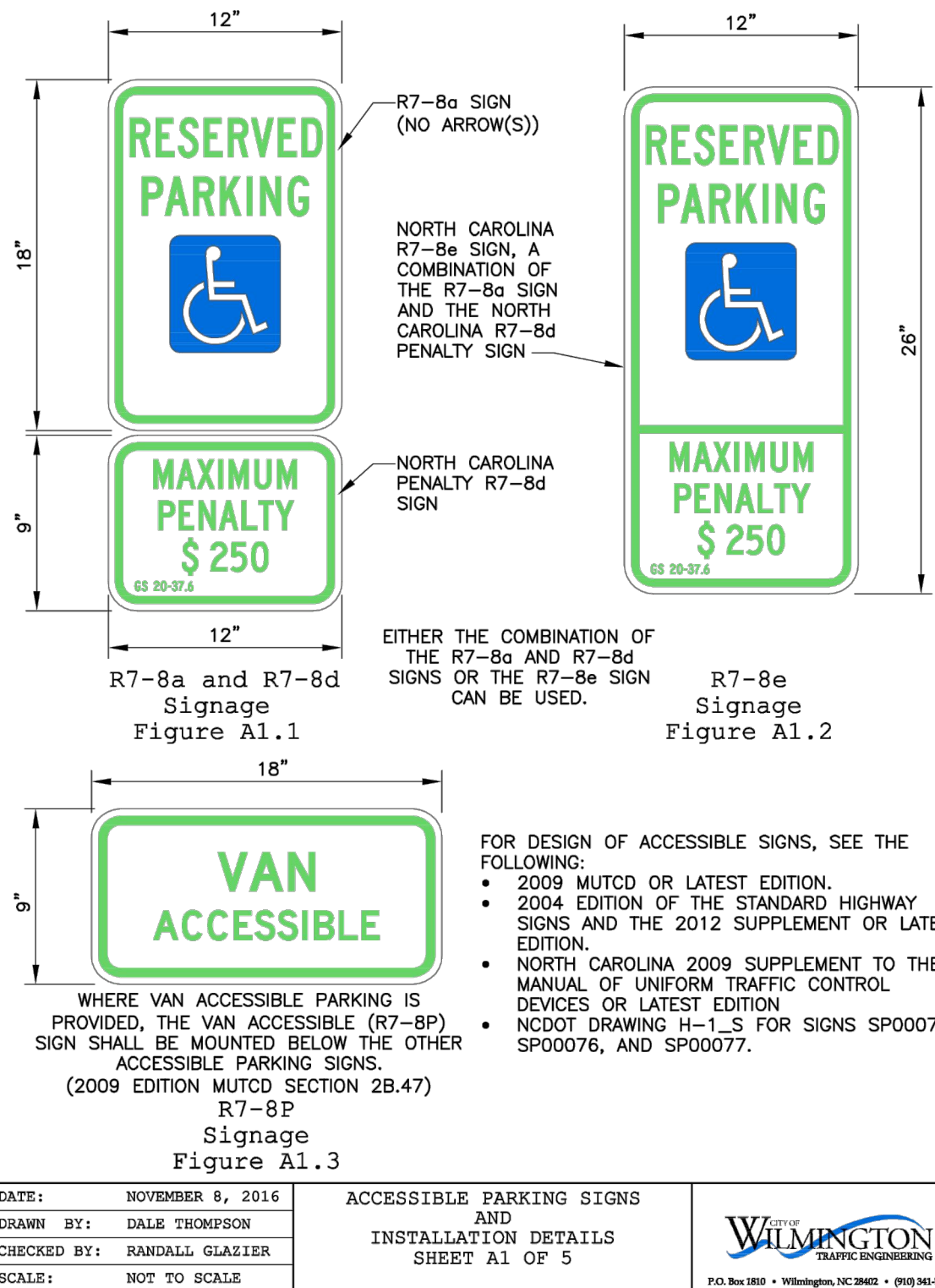
DRAWING NUMBER: **C-4**
5 OF 8



REVISIONS

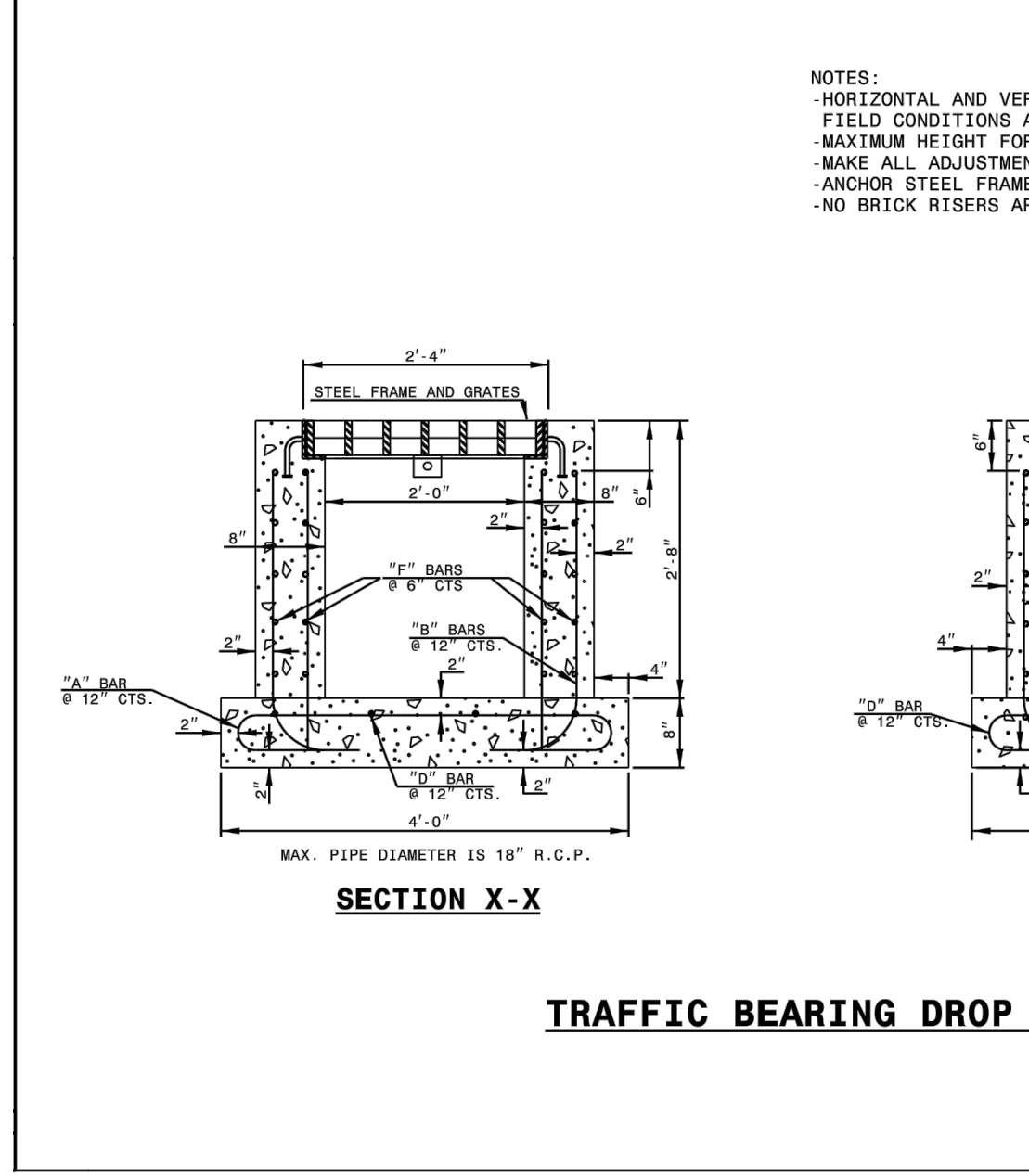
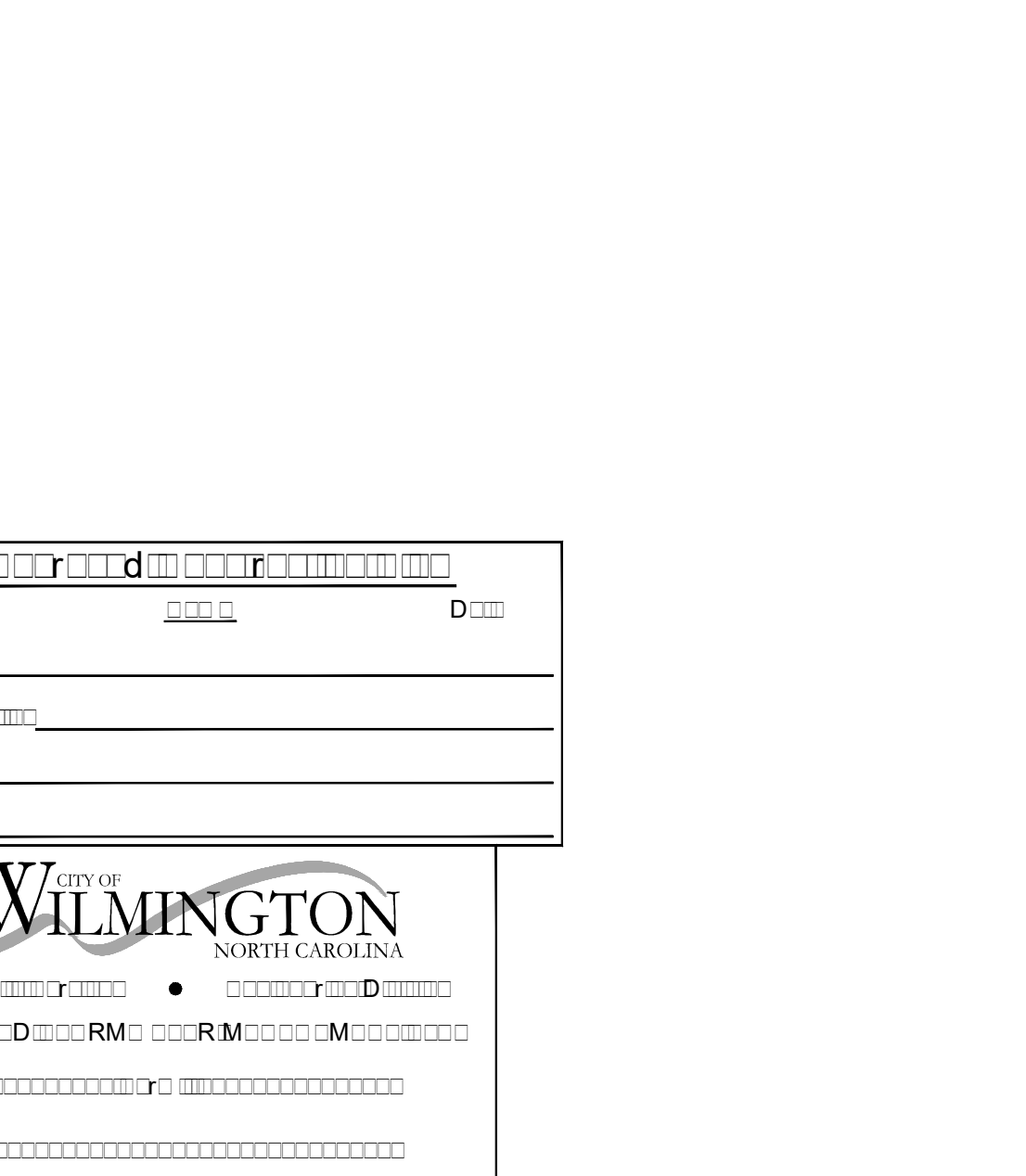
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INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662



DETAILS FOR THE VARSITY CITY OF WILMINGTON NEW HANOVER COUNTY, NC

611 VARSITY DR, 724 & 716 SOUTH KERR AVE.

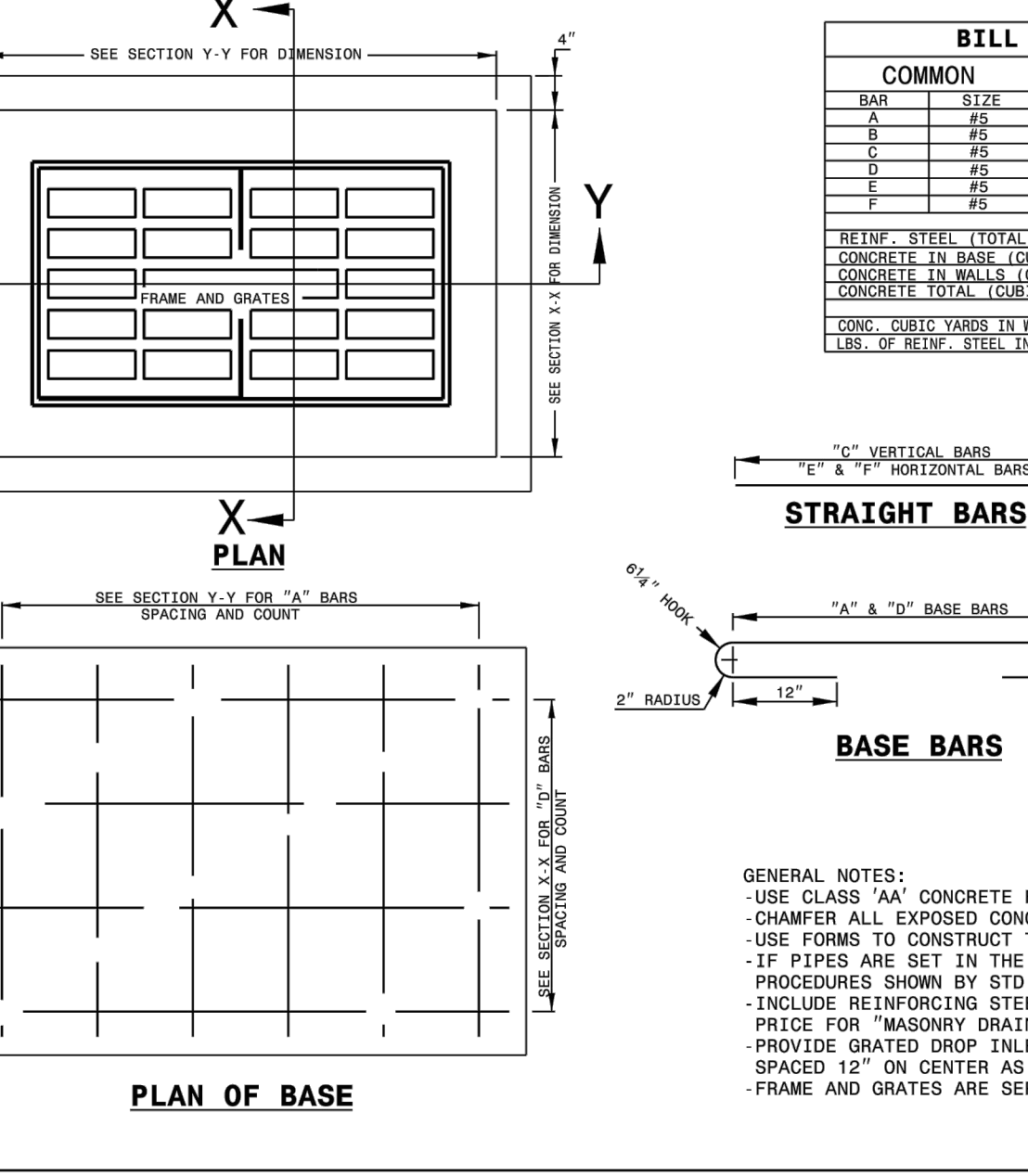


BILL OF MATERIALS

| BAR | SIZE | LENGTH | QUANTITY | WEIGHT |
|-----|------|------------|----------|--------|
| 1 | #4 | 3'-0" | 18 | 64.8 |
| 2 | #4 | 3'-31 1/2" | 18 | 64.9 |
| 3 | #4 | 3'-0" | 14 | 48.6 |
| 4 | #4 | 8'-0 1/2" | 20 | 68.4 |
| 5 | #4 | 3'-0" | 20 | 68.4 |
| 6 | #4 | 3'-0" | 20 | 68.4 |
| 7 | #4 | 3'-0" | 20 | 68.4 |
| 8 | #4 | 3'-0" | 20 | 68.4 |
| 9 | #4 | 3'-0" | 20 | 68.4 |
| 10 | #4 | 3'-0" | 20 | 68.4 |
| 11 | #4 | 3'-0" | 20 | 68.4 |
| 12 | #4 | 3'-0" | 20 | 68.4 |
| 13 | #4 | 3'-0" | 20 | 68.4 |
| 14 | #4 | 3'-0" | 20 | 68.4 |
| 15 | #4 | 3'-0" | 20 | 68.4 |
| 16 | #4 | 3'-0" | 20 | 68.4 |
| 17 | #4 | 3'-0" | 20 | 68.4 |
| 18 | #4 | 3'-0" | 20 | 68.4 |
| 19 | #4 | 3'-0" | 20 | 68.4 |
| 20 | #4 | 3'-0" | 20 | 68.4 |
| 21 | #4 | 3'-0" | 20 | 68.4 |
| 22 | #4 | 3'-0" | 20 | 68.4 |
| 23 | #4 | 3'-0" | 20 | 68.4 |
| 24 | #4 | 3'-0" | 20 | 68.4 |
| 25 | #4 | 3'-0" | 20 | 68.4 |
| 26 | #4 | 3'-0" | 20 | 68.4 |
| 27 | #4 | 3'-0" | 20 | 68.4 |
| 28 | #4 | 3'-0" | 20 | 68.4 |
| 29 | #4 | 3'-0" | 20 | 68.4 |
| 30 | #4 | 3'-0" | 20 | 68.4 |
| 31 | #4 | 3'-0" | 20 | 68.4 |
| 32 | #4 | 3'-0" | 20 | 68.4 |
| 33 | #4 | 3'-0" | 20 | 68.4 |
| 34 | #4 | 3'-0" | 20 | 68.4 |
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| 40 | #4 | 3'-0" | 20 | 68.4 |
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| 56 | #4 | 3'-0" | 20 | 68.4 |
| 57 | #4 | 3'-0" | 20 | 68.4 |
| 58 | #4 | 3'-0" | 20 | 68.4 |
| 59 | #4 | 3'-0" | 20 | 68.4 |
| 60 | #4 | 3'-0" | 20 | 68.4 |
| 61 | #4 | 3'-0" | 20 | 68.4 |
| 62 | #4 | 3'-0" | 20 | 68.4 |
| 63 | #4 | 3'-0" | 20 | 68.4 |
| 64 | #4 | 3'-0" | 20 | 68.4 |
| 65 | #4 | 3'-0" | 20 | 68.4 |
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| 67 | #4 | 3'-0" | 20 | 68.4 |
| 68 | #4 | 3'-0" | 20 | 68.4 |
| 69 | #4 | 3'-0" | 20 | 68.4 |
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| 71 | #4 | 3'-0" | 20 | 68.4 |
| 72 | #4 | 3'-0" | 20 | 68.4 |
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| 74 | #4 | 3'-0" | 20 | 68.4 |
| 75 | #4 | 3'-0" | 20 | 68.4 |
| 76 | #4 | 3'-0" | 20 | 68.4 |
| 77 | #4 | 3'-0" | 20 | 68.4 |
| 78 | #4 | 3'-0" | 20 | 68.4 |
| 79 | #4 | 3'-0" | 20 | 68.4 |
| 80 | #4 | 3'-0" | 20 | 68.4 |
| 81 | #4 | 3'-0" | 20 | 68.4 |
| 82 | #4 | 3'-0" | 20 | 68.4 |
| 83 | #4 | 3'-0" | 20 | 68.4 |
| 84 | #4 | 3'-0" | 20 | 68.4 |
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| 88 | #4 | 3'-0" | 20 | 68.4 |
| 89 | #4 | 3'-0" | 20 | 68.4 |
| 90 | #4 | 3'-0" | 20 | 68.4 |
| 91 | #4 | 3'-0" | 20 | 68.4 |
| 92 | #4 | 3'-0" | 20 | 68.4 |
| 93 | #4 | 3'-0" | 20 | 68.4 |
| 94 | #4 | 3'-0" | 20 | 68.4 |
| 95 | #4 | 3'-0" | 20 | 68.4 |
| 96 | #4 | 3'-0" | 20 | 68.4 |
| 97 | #4 | 3'-0" | 20 | 68.4 |
| 98 | #4 | 3'-0" | 20 | 68.4 |
| 99 | #4 | 3'-0" | 20 | 68.4 |
| 100 | #4 | 3'-0" | 20 | 68.4 |

REF. STEEL TOTAL WEIGHT (LBS.) 327.2
CONCRETE IN BASE (CUBIC YARDS) 0.98
CONCRETE IN WALLS (CUBIC YARDS) 0.92
CONCRETE TOTAL (CUBIC YARDS) 1.48
CONC. CUBIC YARDS IN WALLFOOT OF HEIGHT 0.35
LBS. OF REIN. STEEL IN WALLFOOT OF HEIGHT 84.9

GENERAL NOTES:
-USE CLASS 'AA' CONCRETE FOR CAST IN PLACE BOX.
-CHAMFER ALL EXPOSED CONCRETE CORNERS 1".
-USE FORMS TO CONSTRUCT THE BOTTOM SLAB.
-IF PIPES ARE SET IN THE BASE FOLLOW CONSTRUCTION PROCEDURES SHOWN BY STD. DWG. 840.00.
-INCLUDE REINFORCING STEEL COST IN THE BID PRICE FOR "MASONRY DRAINAGE STRUCTURE".
-PROVIDE GRATED DROP INLETS OVER 9'-6" DEEP WITH STEPS SPACED 12" ON CENTER AS DIRECTED BY STD. DWG. 840.66.
-FRAME AND GRATES ARE SEPARATE CONTRACT ITEMS.



CLIENT INFORMATION:
Real Properties, LLC.
Matt Scharf
1319-CC Military Cutoff Rd #172
Wilmington, NC 28405
Ph. 910-538-9901

DRAWN: JAE SHEET SIZE: 24x36
CHECKED: CDC DATE: 8/24/2020
APPROVED: CDC SCALE: NTS
PROJECT NUMBER: 2019-021

DRAWING NUMBER: **C-5**

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

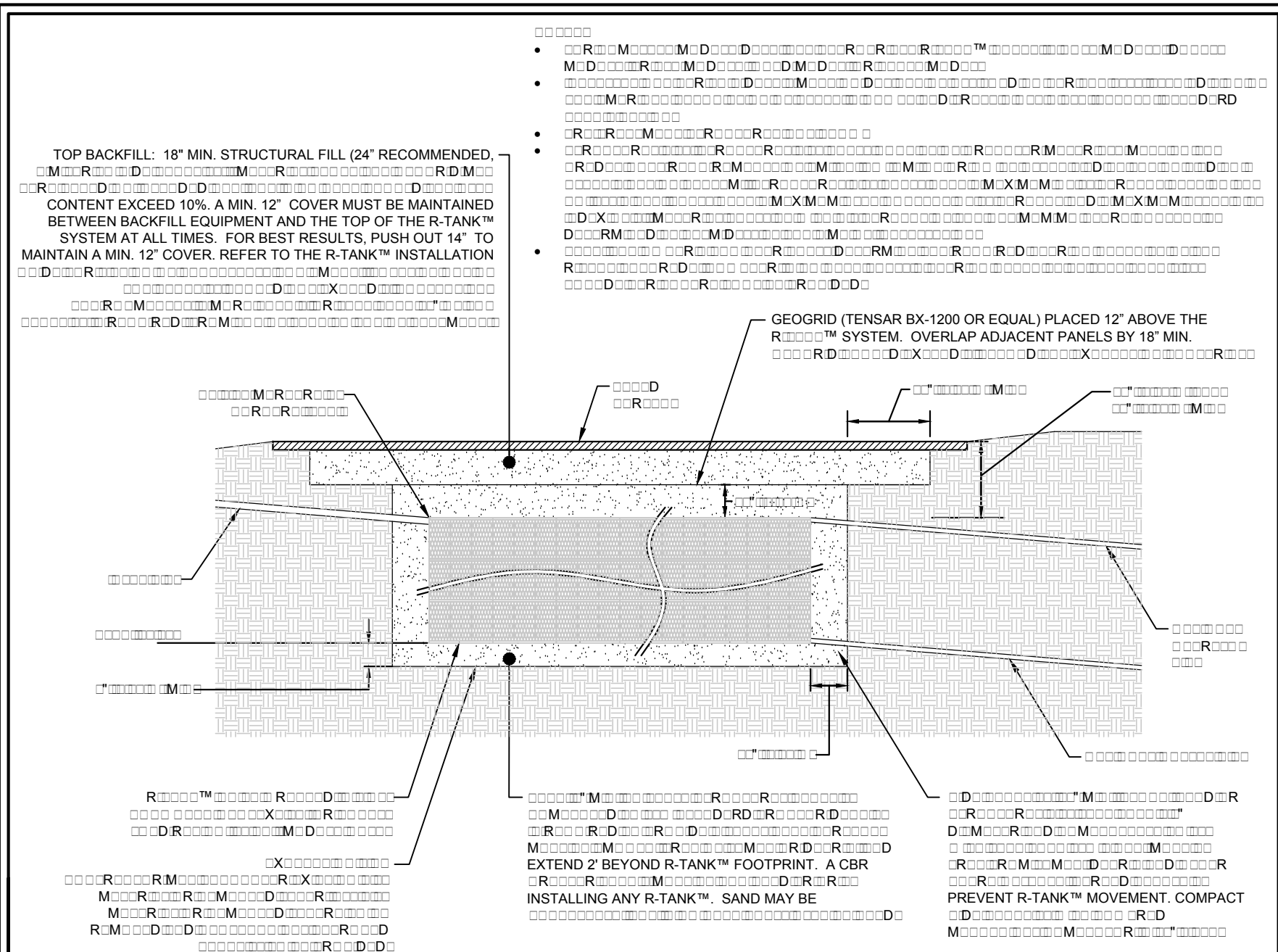
PROFESSIONAL ENGINEER
D. CALZIER
03868

FOR CONSULTATION

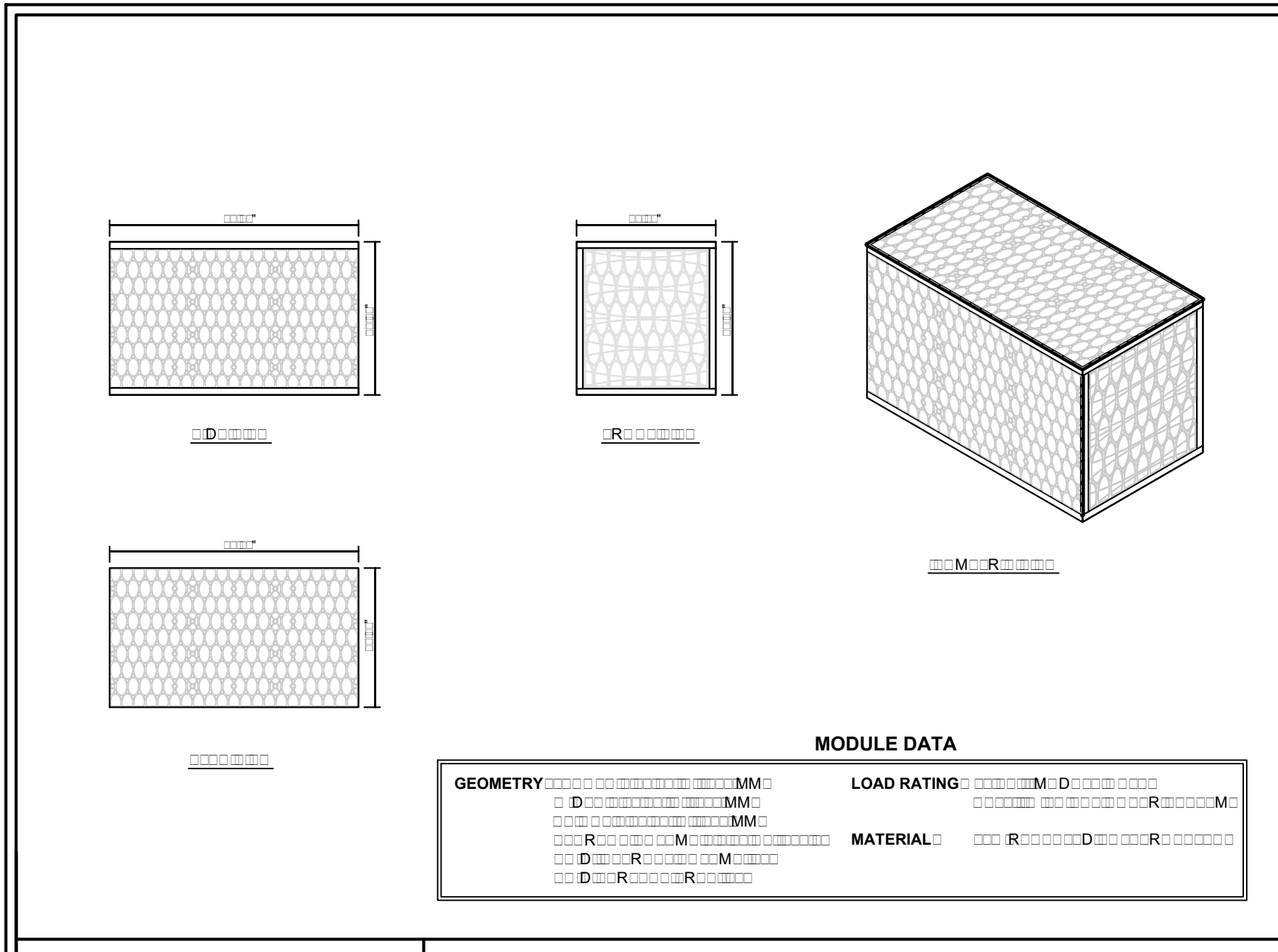
DATE: NOVEMBER 8, 2016
DRAWN BY: DALE THOMPSON
CHECKED BY: RANDALL GLAZIER
SCALE: NOT TO SCALE

CITY OF WILMINGTON
TRAFFIC ENGINEERING
212 OPERATIONS CENTER DRIVE
WILMINGTON, NC 28402
(910) 341-7807

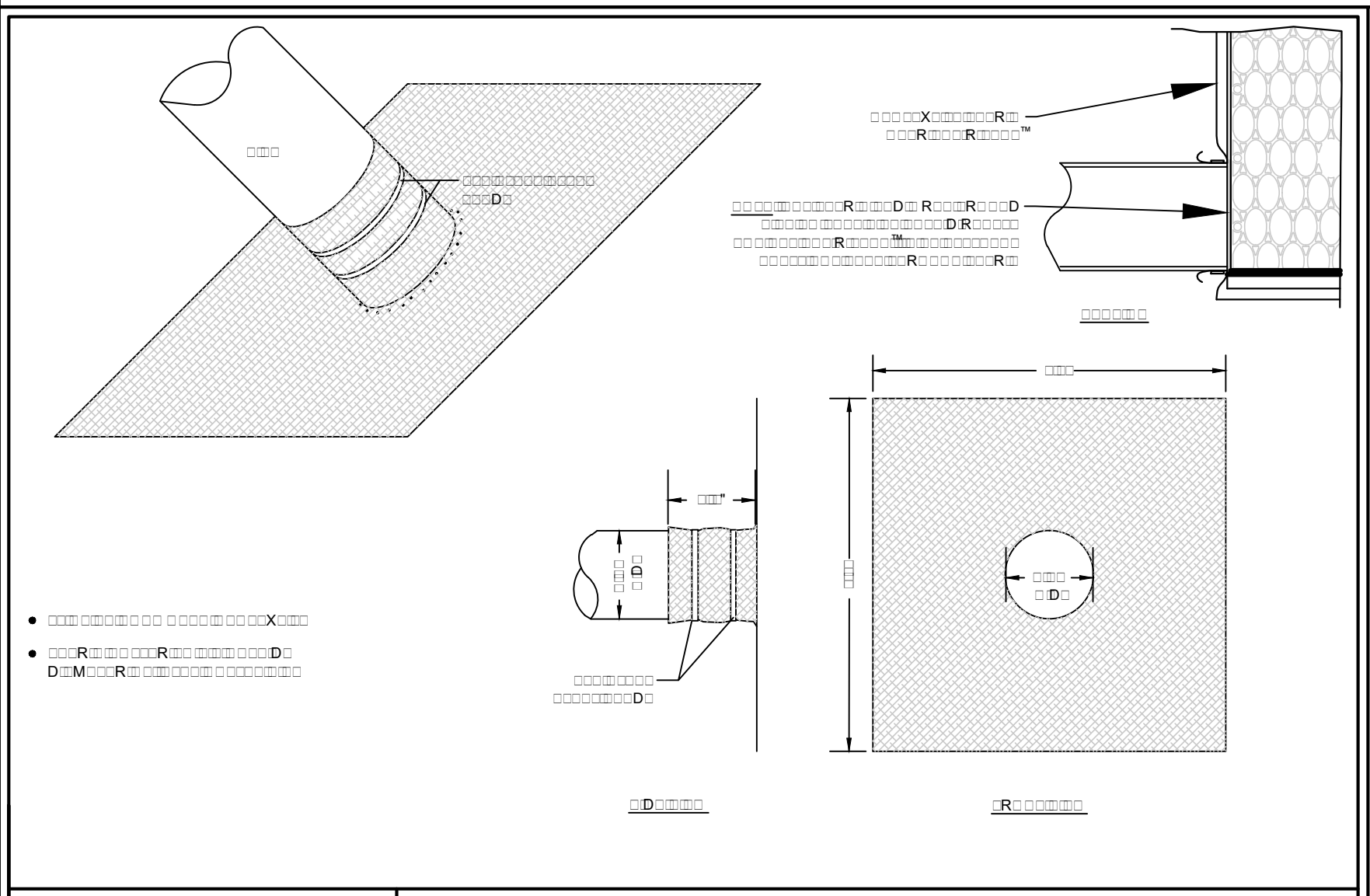
SD 1-05



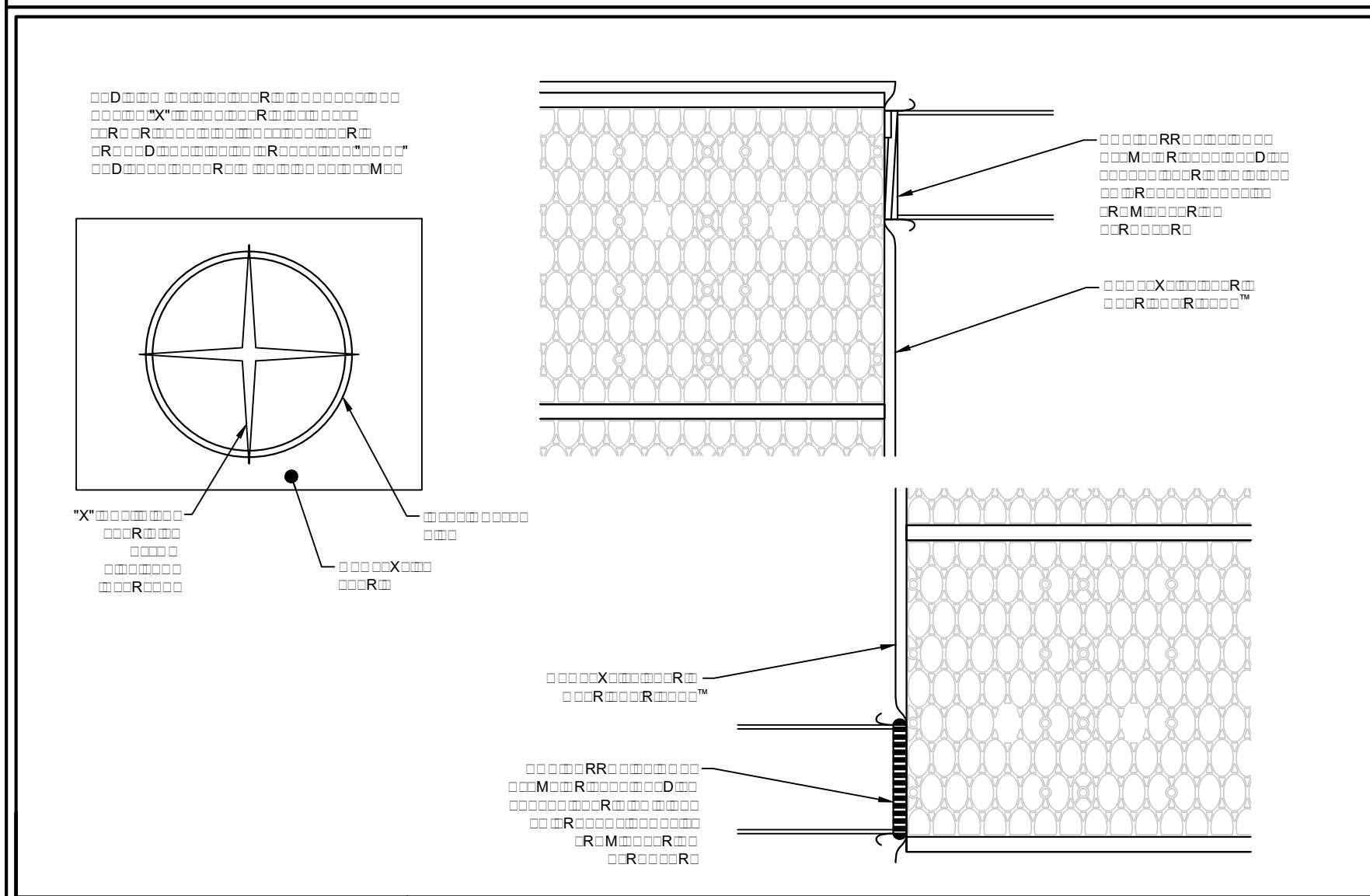
R-TANK™



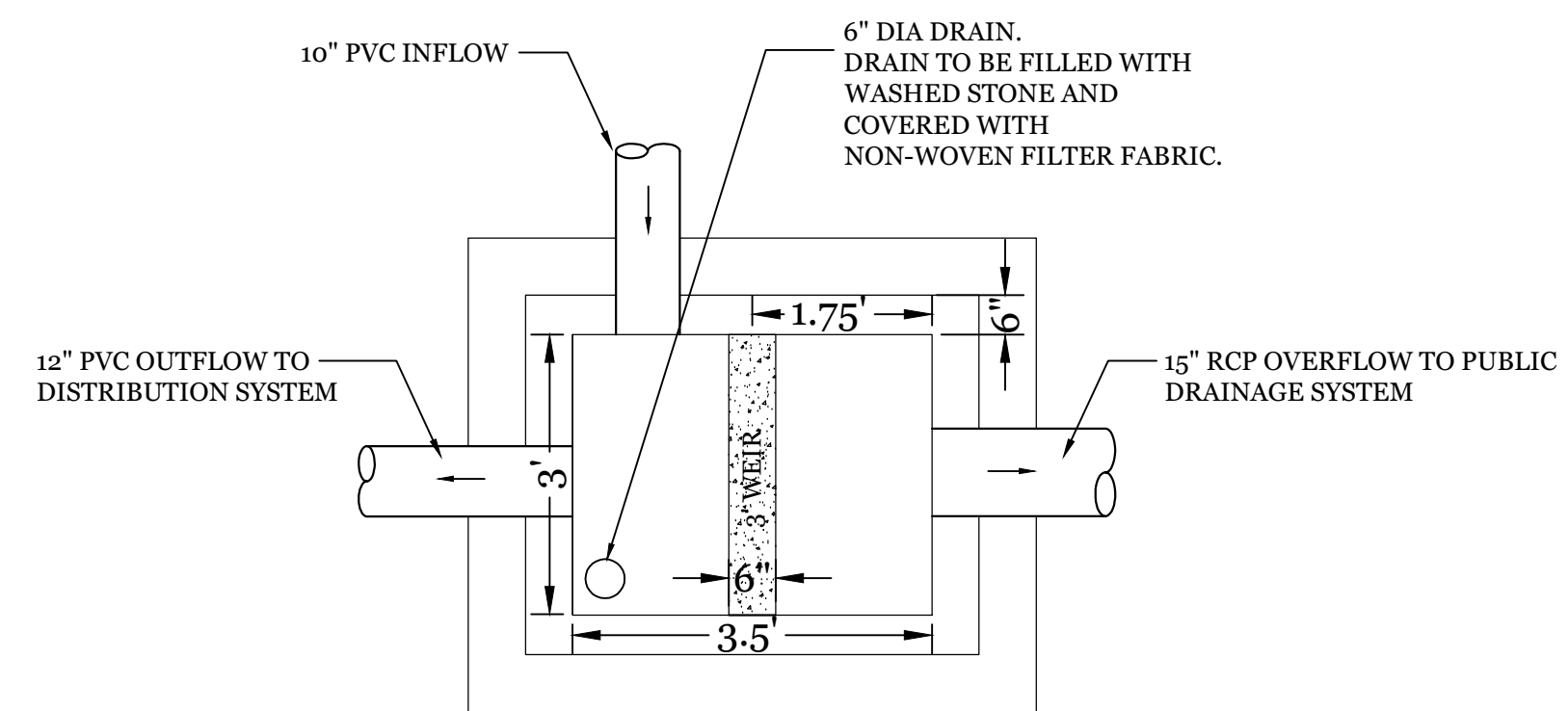
R-TANK™



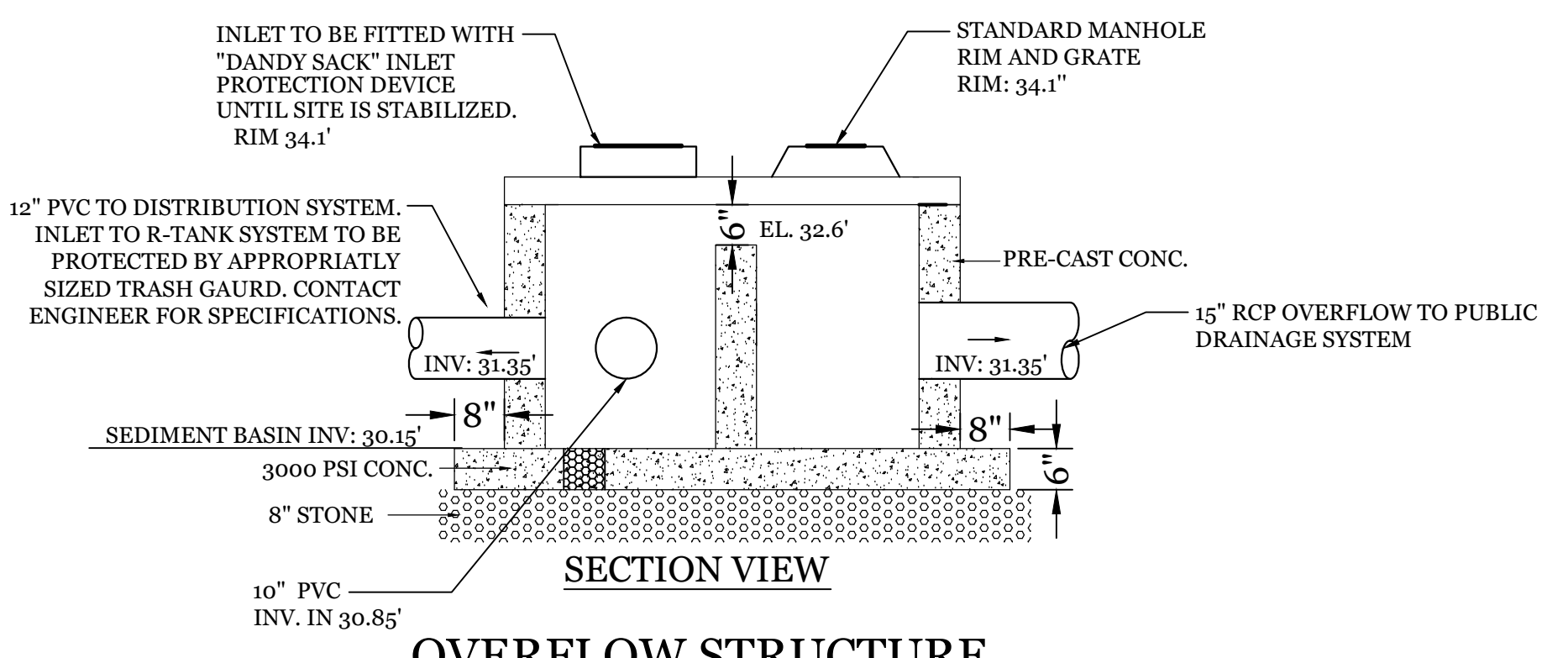
R-TANK™



R-TANK™



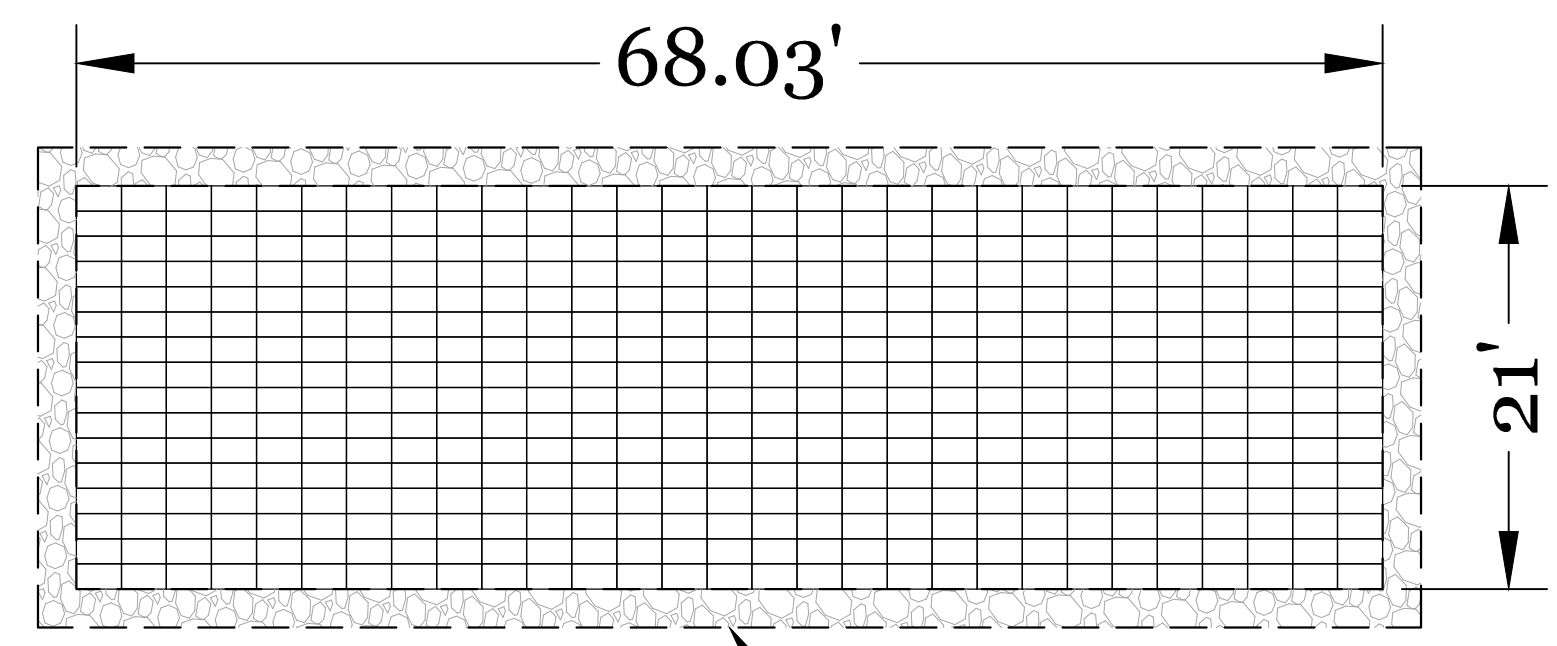
PLAN VIEW



SECTION VIEW

OVERFLOW STRUCTURE

NTS



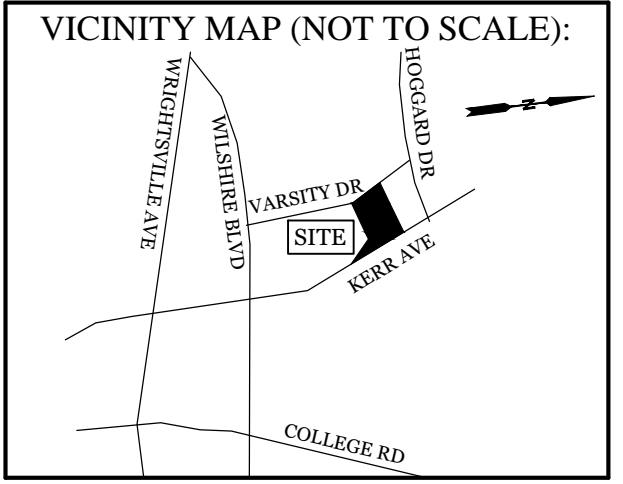
NOTE: CONTRACTOR TO OBTAIN SPECIFICATIONS FROM ENGINEER ON R-TANK INSTALLATION PRIOR TO BIDDING & CONSTRUCTION.

R-TANK - LAYOUT PLAN (464 TANKS TOTAL)
 SCALE: 1" = 10'

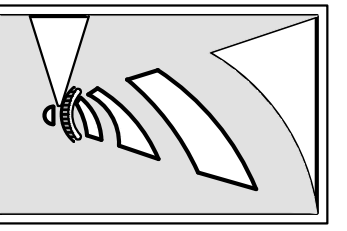
CITY OF WILMINGTON NORTH CAROLINA

REVISIONS

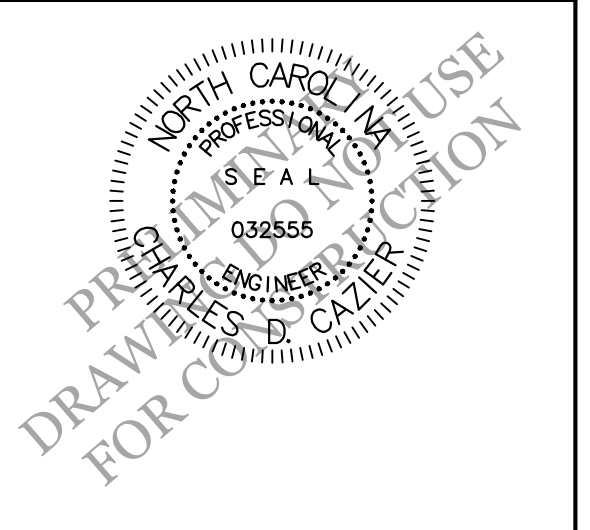
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|-----|------|-------------|
| NO. | DATE | DESCRIPTION |
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INTRACOASTAL ENGINEERING, PLLC
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DETAILS FOR THE VARSITY
 611 VARSITY DR, 724 & 716 SOUTH KERR AVE.
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NC



CLIENT INFORMATION:
 Real Properties, LLC.
 Matt Scharf
 1319-CC Military Cutoff Rd #172
 Wilmington, NC 28405
 Ph. 910-538-9901

| | | | |
|-----------------|----------|-------------|-----------|
| DRAWN: | JAE | SHEET SIZE: | 24x36 |
| CHECKED: | CDC | DATE: | 8/24/2020 |
| APPROVED: | CDC | SCALE: | NTS |
| PROJECT NUMBER: | 2019-021 | | |

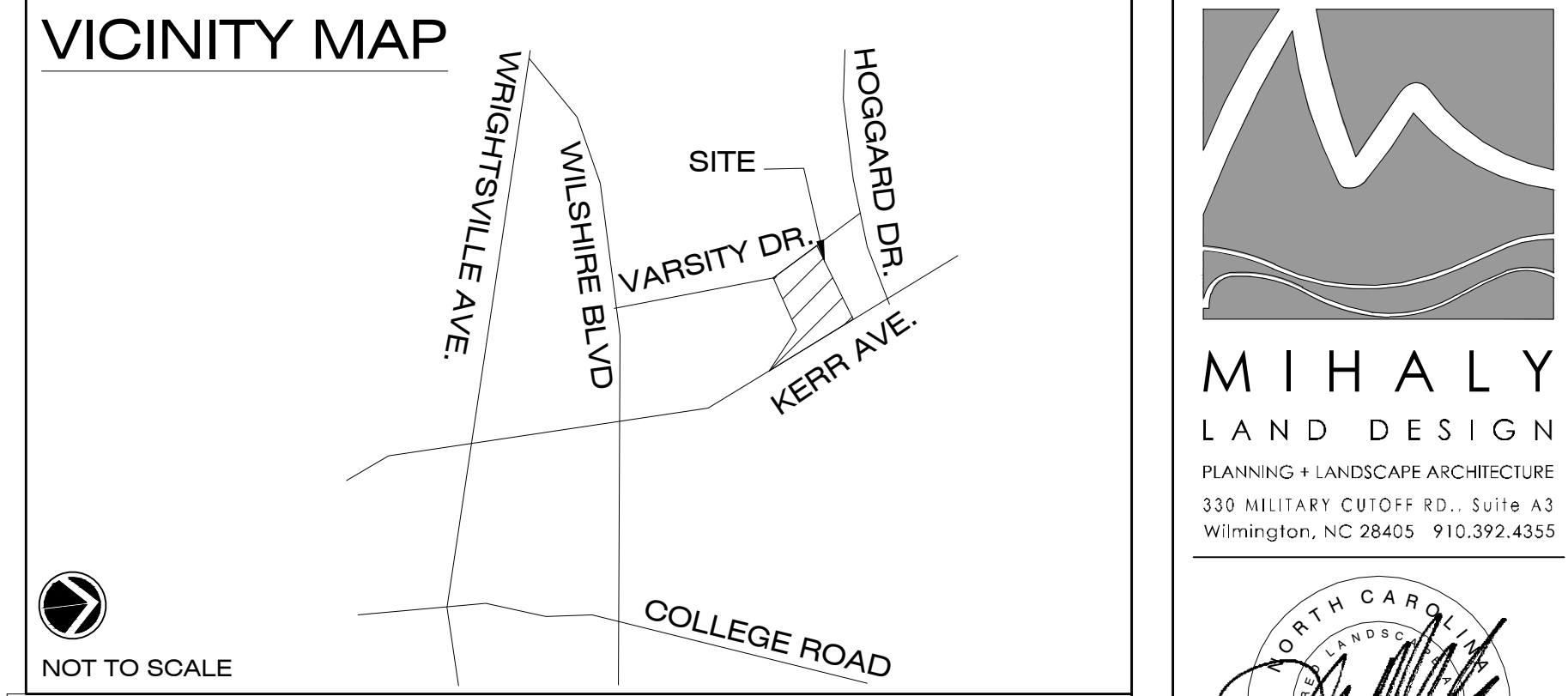
DRAWING NUMBER: **C-6**

SITE DATA table with columns for ADDRESS, PARCEL ID, PROPOSED USE, EXISTING ZONING, PARCEL AREA, DISTURBED AREA, CAMA LAND USE, NUMBER OF BUILDINGS, NUMBER OF UNITS, BUILDING HEIGHT.

LANDSCAPE REQUIREMENTS table with columns for REQUIRED, PROVIDED, FOUNDATION PLANTING, and required/planted trees for various areas like PARKING LOT CANOPY COVERAGE, STREET YARD PLANTING, etc.

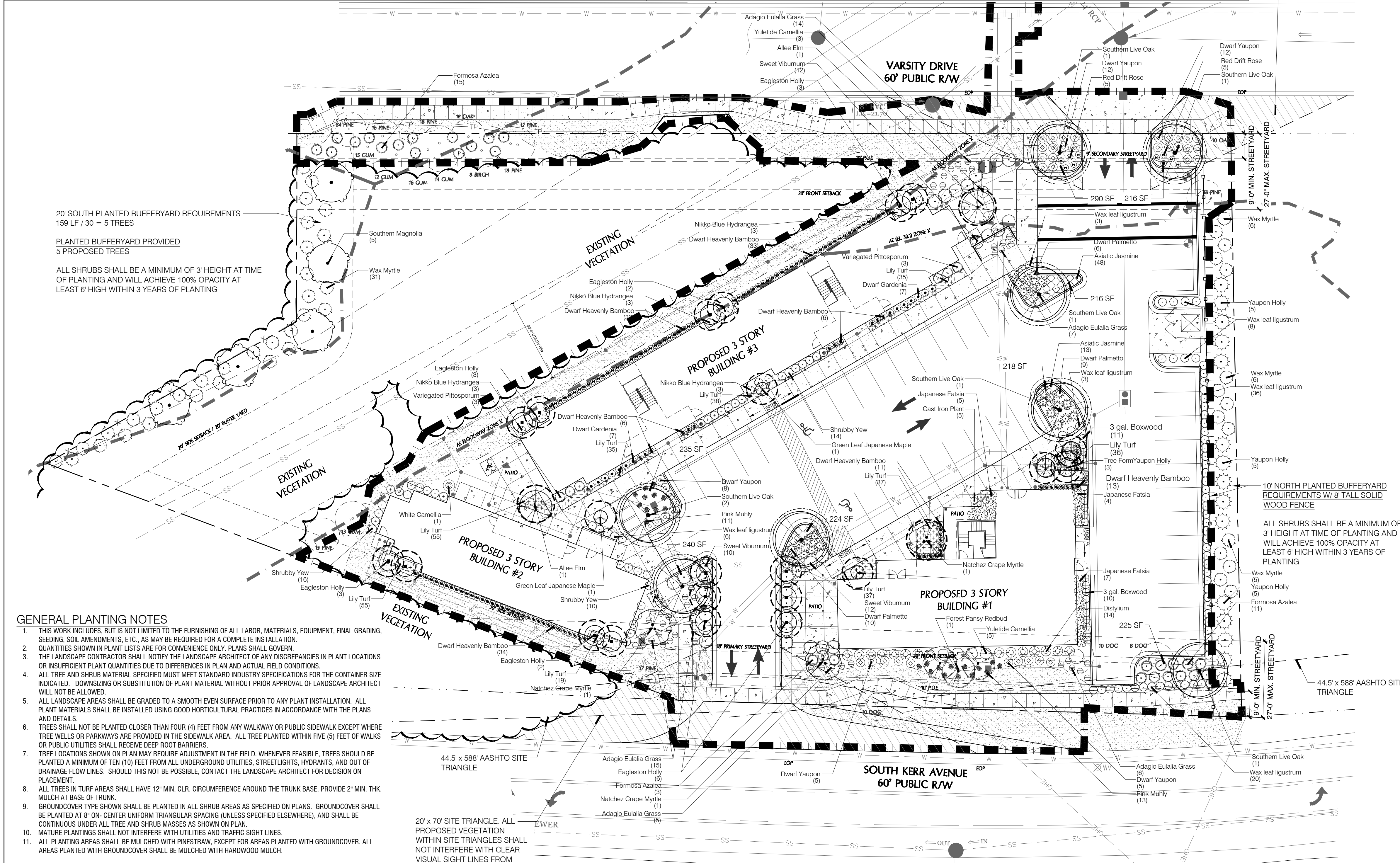
RETAINED TREES COUNTED TOWARD MITIGATION and REMOVED REGULATED TREES TO BE MITIGATED tables listing QUANTITY, SIZE, COMMON NAME, and % MITIGATION.

TREE MITIGATION REQUIREMENTS table listing QUANTITY, SIZE, COMMON NAME, and % MITIGATION for various tree species.



MIHALY LAND DESIGN logo and contact information: 330 MILITARY CUTOFF RD., Suite A3, WILMINGTON, NC 28405. Phone: 910.392.4355.

PLANT SCHEDULE table with columns for TREES, SHRUBS, and SOIL SEED, including Botanical/Common Name, Size, Range, and Quantity. Includes a sub-table for SOIL SEED at the bottom.



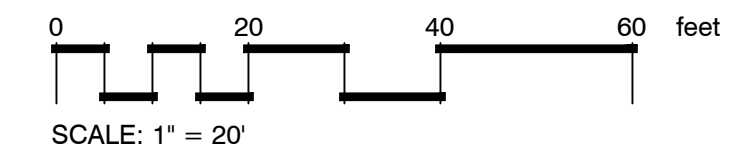
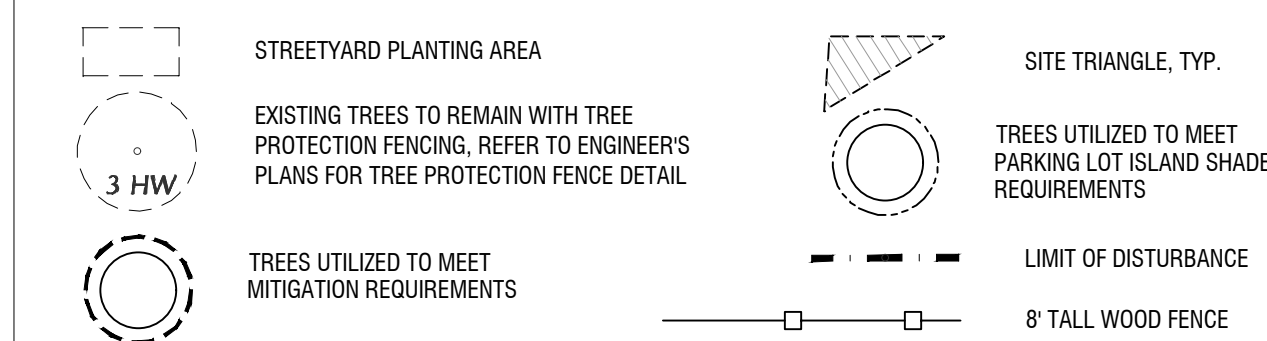
- GENERAL PLANTING NOTES: 1. THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON NORTH CAROLINA logo and Public Services Engineering Division APPROVED STORMWATER MANAGEMENT PLAN information.

Approved Construction Plan table with columns for Name and Date, covering Planning, Public Utilities, Traffic, and Fire.

SYMBOL LEGEND



Revisions: 2020-05-12: Revise per COW comments; 2020-07-20: Revise per COW comments; 2020-08-25: Revise per COW comments

CLIENT REAL PROPERTIES, LLC. 1319-CC MILITARY CUTOFF RD. #172, WILMINGTON, NC 28405. CONTACT: MATT SCHARF - 910-538-9901

PROJECT THE VARSITY 611 VARSITY DR., 724 & 716 S. KERR AVE., WILMINGTON, NC 28403. LANDSCAPE PLAN

CONSTRUCTION DOCUMENT REVIEW SET. Date: 2020-03-25. Phase: Job Number: 101-600.

Designed by: MLD. Drawn by: MAS. Checked by: JWM. Sheet Title: PLANTING PLAN

Sheet Number: L1.0 of 1 sheets